

DEDICATION:

THE UNDERSIGNED, BEING THE OWNER OF THE FOLLOWING DESCRIBED PROPERTY, HAS LAID OUT, SUBDIVIDED AND PLATTED THE SAME INTO LOTS, BLOCKS, TRACTS, STREETS AND AVENUES AS HEREIN SHOWN UNDER THE NAME AND STYLE OF EAGLE RIDGE - FILING NO. 1 AND DOES HEREBY GRANT AND CONVEY TO THE CITY OF GOLDEN IN FEE SIMPLE ALL SUCH STREETS AND AVENUES, TRACT "J" FOR PUBLIC OPEN SPACE, STORM DRAINAGE, UTILITY AND ACCESS PURPOSES, AND DOES HEREBY GRANT AND CONVEY TO THE CITY OF GOLDEN PEDESTRIAN AND UTILITY, UTILITY, AND DRAINAGE AND UTILITY EASEMENTS, AS SHOWN HEREON, OVER, UNDER, UPON AND ACROSS SAID LOTS, AND WITHIN TRACTS FOR CONSTRUCTION, OPERATION AND MAINTENANCE OF NECESSARY UTILITY AND DRAINAGE FACILITIES.

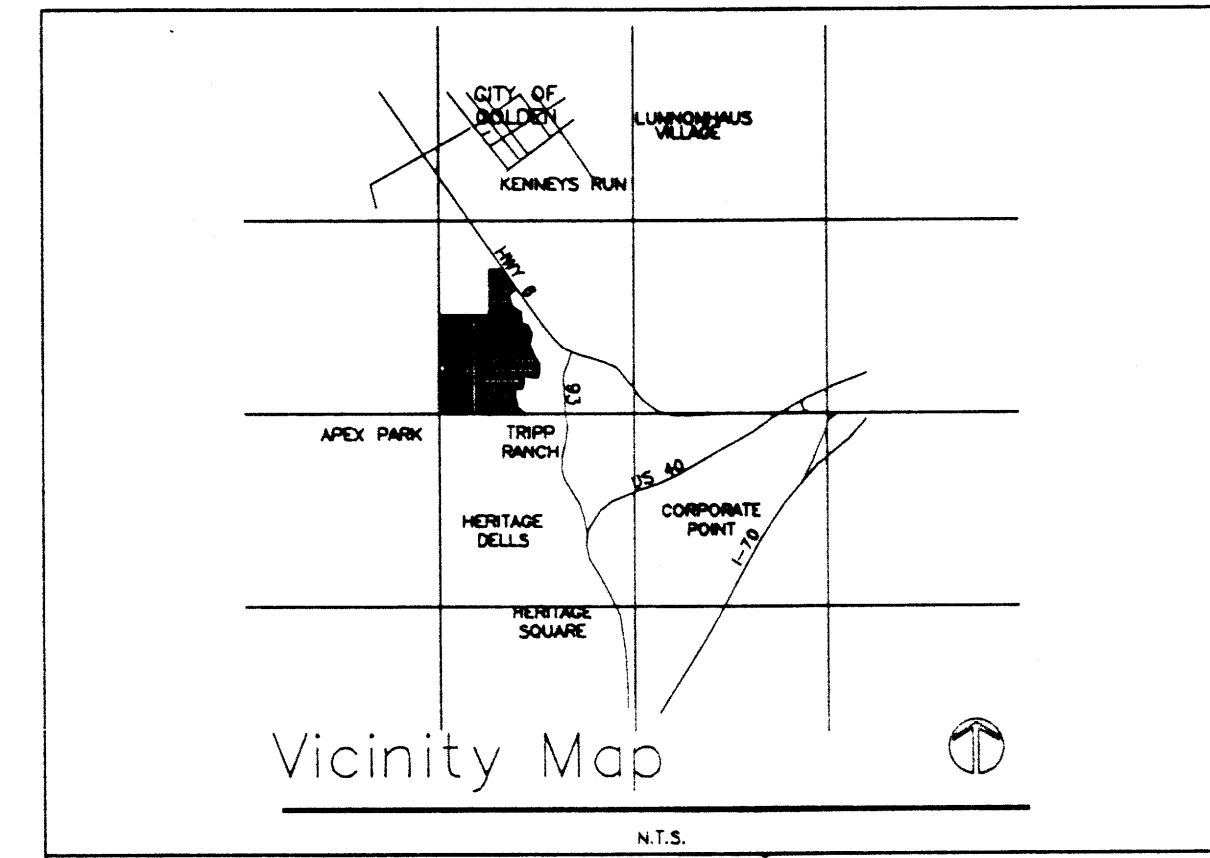
LAND DESCRIPTION:

A PARCEL OF LAND LOCATED IN SECTION 3, TOWNSHIP 4 SOUTH, RANGE 70 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE S89°41'17"E ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER A DISTANCE OF 1324.40 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3; THENCE DEPARTING SAID NORTH LINE AND ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3 N00°39'53"W, A DISTANCE OF 1311.13 FEET; THENCE DEPARTING SAID WEST LINE S89°24'44"E, A DISTANCE OF 255.19 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SIXTH AVENUE (STATE HIGHWAY NO. 6); THENCE S33°46'19"E ALONG SAID SOUTHERLY RIGHT-OF-WAY A DISTANCE OF 1672.33 FEET TO A POINT ON THE WESTERLY BOUNDARY LINE OF EAGLE RIDGE CENTER RECORDED AT RECEPTION NO. 88034814; THENCE ALONG SAID WESTERLY BOUNDARY LINE THE FOLLOWING TWO (2) CONSECUTIVE COURSES: 1) THENCE S56°13'26"W A DISTANCE OF 189.76 FEET; 2) THENCE S00°00'33"E A DISTANCE OF 352.20 FEET; THENCE CONTINUING S00°00'33"E A DISTANCE OF 261.27 FEET; THENCE S60°06'19"E A DISTANCE OF 245.32 FEET TO A POINT ON THE WESTERLY BOUNDARY LINE OF SAID EAGLE RIDGE CENTER; THENCE ALONG SAID WESTERLY BOUNDARY LINE THE FOLLOWING THREE (3) CONSECUTIVE COURSES: 1) THENCE N89°59'56"E A DISTANCE OF 157.82 FEET; 2) THENCE S45°00'04"E A DISTANCE OF 83.53 FEET; 3) THENCE S00°04'05"E A DISTANCE OF 174.88 FEET; THENCE S11°05'59"E A DISTANCE OF 259.58 FEET TO A POINT ON THE WESTERLY BOUNDARY LINE OF EAGLE RIDGE CENTER FILING NO. 2 RECORDED AT RECEPTION NO. 94101154; THENCE ALONG SAID WESTERLY BOUNDARY LINE THE FOLLOWING TWO (2) CONSECUTIVE COURSES: 1) THENCE S78°29'16"W A DISTANCE OF 227.93 FEET; 2) THENCE S39°51'11"E ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 25°57'07", A RADIUS OF 529.00 FEET AND A CHORD WHICH BEARS S24°25'34"E A DISTANCE OF 237.57 FEET TO A POINT ON THE NORTHERLY AND WESTERLY BOUNDARY LINE OF LAKOTA HILLS SUBDIVISION RECORDED AT RECEPTION NOS. 86038075 AND 88033424; THENCE ALONG SAID NORTHERLY AND WESTERLY BOUNDARY LINES THE FOLLOWING THREE (3) CONSECUTIVE COURSES: 1) THENCE S78°32'59"W A DISTANCE OF 144.41 FEET; 2) THENCE S43°06'34"W A DISTANCE OF 143.69 FEET; 3) THENCE S16°01'17"W A DISTANCE OF 72.40 FEET; THENCE S01°21'19"W A DISTANCE OF 780.53 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE N89°39'53"W ALONG SAID SOUTH LINE A DISTANCE OF 2287.00 FEET TO A POINT ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE DEPARTING SAID SOUTH LINE AND ALONG SAID WEST LINE N02°46'21"W, A DISTANCE OF 1098.82 FEET; THENCE DEPARTING SAID WEST LINE S89°07'50"E, A DISTANCE OF 207.93 FEET; THENCE N02°45'27"W, A DISTANCE OF 208.29 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE N89°11'07"W ALONG SAID SOUTH LINE A DISTANCE OF 207.97 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE N02°46'21"W ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 3 A DISTANCE OF 1306.93 FEET TO THE POINT OF BEGINNING SAID PARCEL CONTAINS 166.75 ACRES, MORE OR LESS.

FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M. CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO SHEET 1 OF 13



- C. SIDE AND REAR SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE. SIDE SETBACK DISTANCE ON CORNER LOTS SHALL BE 15'.
D. BUILDING HEIGHTS SHALL BE MEASURED PER THE ZONING ORDINANCE AS IN EFFECT ON THE DATE OF CITY COUNCIL'S APPROVAL OF THIS PLAT.
5. INDIVIDUAL SITE GRADING PLANS WILL BE REQUIRED FOR LOTS IN BLOCKS 1, 4, 5, 6, 7, 8, 9, 11, AND 12 AT TIME OF BUILDING PERMIT.
6. TRACTS A, B, C, D, E, F, G, H, I, K, L, M, N, O, P AND Q ARE NOT DEVELOPABLE LOTS. TRACTS K, L, M, N AND Q ARE FOR PRIVATE OPEN SPACE PURPOSES AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. TRACTS O AND P ARE RESERVED FOR FUTURE ACCESS AND AND UTILITY PURPOSES TO ADJACENT SHELTON P.U.D. AND WILL BE OWNED AND MAINTAINED BY THE DEVELOPER OR HOMEOWNERS ASSOCIATION OR DEDICATED TO THE CITY.

TRACT J IS FOR PUBLIC OPEN SPACE, STORM DRAINAGE, UTILITY AND ACCESS PURPOSES AND SHALL BE OWNED AND MAINTAINED BY THE CITY OF GOLDEN. TRACTS A, B, C, D, E, F, G, H AND I ARE TO BE DEDICATED TO THE CITY OF GOLDEN IN ACCORDANCE WITH THE FOLLOWING SCHEDULE AND PURSUANT TO THE KINNEY RUN TRAIL ACQUISITIONS AND EAGLE RIDGE VESTED RIGHTS DEVELOPMENT AGREEMENT EXECUTED BY THE DEVELOPER AND THE CITY OF GOLDEN:

Table with columns: DATE OF DEDICATION, TRACT(S) TO BE DEDICATED. Rows include dates from January 15, 1999 to January 15, 2003 and corresponding tract letters B, D, F, H, I, E, C, A, G.

- 7. THE CITY WILL GRANT USE AND MAINTENANCE OF THE RIGHT-OF-WAY FOR THE EXTENSION OF FOX HOLLOW LANE NORTH OF EAGLE RIDGE DRIVE TO THE HOMEOWNERS ASSOCIATION UNTIL SUCH TIME AS ROADWAY IS CONSTRUCTED.
8. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMPLETS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
9. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
10. TO THE EXTENT THIS FINAL PLAT IS INCONSISTENT WITH: (A) TRIPP RANCH O.D.P. RECORDED APRIL 13, 1989 UNDER RECEPTION NO. 89031608 AND AMENDED FINAL DEVELOPMENT PLAN RECORDED FEBRUARY 19, 1992 UNDER RECEPTION NO. 92016837; AND (B) GLENEAGLE COMMUNITY ZONE USE MAP RECORDED JANUARY 12, 1983 UNDER RECEPTION NO. 83003421; AND (C) EAGLE RIDGE P.U.D. FINAL DEVELOPMENT PLAN, RECORDED JANUARY 14, 1986 UNDER RECEPTION NO. 86004847, THIS FINAL PLAT SUPERSEDES AND MODIFIES SUCH EARLIER ITEMS.
11. PROPERTY IS SUBJECT TO AN EASEMENT AND RIGHT OF WAY FOR A PRIVATE ROAD IN, OVER AND ACROSS SUBJECT PROPERTY AS GRANTED BY THE STATE INDUSTRIAL SCHOOL FOR BOYS TO HUGH BEERS IN INSTRUMENT RECORDED OCTOBER 24, 1931 IN BOOK 447, AT PAGE 393, IN WHICH THE SPECIFIC LOCATION OF THE EASEMENT IS NOT DEFINED.
12. BEARINGS AND DISTANCES SHOWN AS (M) ARE MEASURED AND THOSE SHOWN AS (P) ARE PLATTED.

SURVEYOR'S CERTIFICATE:

I, RICHARD A. MURPHY, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY OF EAGLE RIDGE - FILING NO. 1 WAS MADE UNDER MY SUPERVISION ON June 1997 AND THAT THE ACCOMPANYING MAP ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION. SIGNED THIS 20th DAY OF MAY, 1998.

CLERK AND RECORDER'S CERTIFICATE: 142 BOOK NO., 52-64 PAGE NO.5, F0679949 RECEPTION NO. ACCEPTED FOR FILING IN THE OFFICE OF COUNTY CLERK AND RECORDER OF JEFFERSON COUNTY AT GOLDEN, COLORADO ON THIS 24th DAY OF August, 1998. AT 3:29 O'CLOCK M.

DEAN DEB MERRILL, JEFFERSON COUNTY CLERK AND RECORDER. KRISTIE LYNN ADAMS, COUNTY CLERK DEPUTY.

OWNERSHIP/SUBDIVIDER:

SIGNED THIS 28th DAY OF May, 1998.

GOLDEN VIEW LIMITED, A COLORADO GENERAL PARTNERSHIP BY: Jerry L. Hufford, Partner.

STATE OF COLORADO } COUNTY OF JEFFERSON }

THE ABOVE DEDICATION AND FOREGOING MAP OF EAGLE RIDGE - FILING NO. 1 WAS ACKNOWLEDGED BEFORE ME THIS 28th DAY OF May, 1998 BY JERRY L. HUFFORD, PARTNER OF GOLDEN VIEW LIMITED, A COLORADO GENERAL PARTNERSHIP.

MY COMMISSION EXPIRES: 2/15/01. WITNESS MY HAND AND OFFICIAL SEAL:

Notary Public signature and seal.

ACQUEST CORPORATION, A COLORADO CORPORATION BY: Richard L. Lunnon, President.

STATE OF COLORADO } COUNTY OF JEFFERSON }

THE ABOVE DEDICATION AND FOREGOING MAP OF EAGLE RIDGE - FILING NO. 1 WAS ACKNOWLEDGED BEFORE ME THIS 29th DAY OF May, 1998 BY RICHARD L. LUNNON, PRESIDENT OF ACQUEST CORPORATION, A COLORADO CORPORATION.

MY COMMISSION EXPIRES: 2/15/01. WITNESS MY HAND AND OFFICIAL SEAL:

Notary Public signature and seal.

JOHNSON EAGLE RIDGE, LLC. THAT ENTITY IS A COLORADO LIMITED LIABILITY COMPANY.

BY: Courtney Johnson, Manager.

STATE OF COLORADO } COUNTY OF JEFFERSON }

THE ABOVE DEDICATION AND FOREGOING MAP OF EAGLE RIDGE - FILING NO. 1 WAS ACKNOWLEDGED BEFORE ME THIS 28th DAY OF May, 1998 BY COURTNEY JOHNSON, MANAGER OF JOHNSON EAGLERIDGE, LLC.

MY COMMISSION EXPIRES: 8/19/2001. WITNESS MY HAND AND OFFICIAL SEAL:

Notary Public signature and seal.

ATTORNEY'S CERTIFICATE:

I, Larry M. Baker, an attorney at law duly licensed to practice before the courts of the state of Colorado, reg. no. 004471 DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE OF ALL LANDS HEREIN ABOVE DEDICATED AND GRANTED AS SHOWN ON THE WITHIN PLAT AND THAT THE SIGNATURES TO THE PLAT ARE IN FACT THE OWNERS OF SAID LAND AND THAT TITLE TO SUCH LANDS ARE IN THE DEDICATORS AND FREE AND CLEAR OF LIENS AND ENCUMBRANCES EXCEPT AS SHOWN.

DATED THIS 28th DAY OF May, 1998. BY: Larry M. Baker.

APPROVALS:

PLANNING COMMISSION: APPROVED BY THE CITY OF GOLDEN PLANNING COMMISSION THIS 1st DAY OF October, 1998.7. Rhonda Sullivan, Secretary.

CITY COUNCIL: THE FOREGOING PLAT IS APPROVED FOR FILING, AND CONVEYANCE OF THE STREETS AND AVENUES, TRACT "J", PEDESTRIAN AND UTILITY, DRAINAGE, AND UTILITY EASEMENTS, AND ALL OTHER PLACES DESIGNATED FOR PUBLIC USE SHOWN HEREON ACCEPTED BY THE CITY OF GOLDEN, COLORADO THIS 28th DAY OF June, 1998, SUBJECT TO THE CONDITION THAT THE CITY SHALL UNDERTAKE MAINTENANCE OF THE STREETS AND DRAINAGE AND UTILITY EASEMENTS DESIGNATED HEREON ONLY AFTER CONSTRUCTION OF THE STREETS AND STORM WATER DRAINAGE FACILITIES HAS BEEN SATISFACTORILY COMPLETED BY THE SUBDIVIDER AND ACCEPTED BY THE CITY OF GOLDEN.

APPROVED BY THE CITY OF GOLDEN CITY COUNCIL THIS 1st DAY OF December, 1998.7. Mayor signature and seal.

MAYOR ATTEST: Susan M. Phillips, City Clerk, Deputy.

RESTRICTIONS OF CONVEYANCE AND CERTIFICATES OF OCCUPANCY:

AS A CONDITION OF APPROVAL OF THIS PLAT BY THE CITY OF GOLDEN, COLORADO, NO CONVEYANCE, SALE OR TRANSFER OF TITLE OF AN ENTIRE PHASE OF THIS SUBDIVISION OR ANY INDIVIDUAL LOT, LOTS, TRACT OR TRACTS OF LAND WITHIN SUCH PHASE, EXCEPT CONVEYANCES TO THE CITY, SHALL BE MADE, NOR SHALL ANY CERTIFICATE OF OCCUPANCY BE ISSUED FOR ANY RESIDENTIAL LOTS WITHIN SUCH PHASE UNTIL THE CITY OF GOLDEN HAS ISSUED A "CERTIFICATE OF COMPLIANCE" INDICATING THAT ALL PUBLIC IMPROVEMENTS REQUIRED FOR SUCH PHASE TO BE DESIGNED AND CONSTRUCTED BY THE DEVELOPER ARE FULLY COMPLETED AND INITIALLY ACCEPTED BY THE CITY, AS MORE SPECIFICALLY PROVIDED FOR IN THE SUBDIVISION IMPROVEMENTS AGREEMENT EXECUTED BY THE DEVELOPER WITH THE CITY OF GOLDEN. THIS RESTRICTION ON CONVEYANCE, SALE OR TRANSFER OF TITLE SHALL RUN WITH THE LAND AND SHALL EXTEND TO AND BE BINDING UPON THE HEIRS, EXECUTORS, LEGAL REPRESENTATIVES AND ASSIGNS OF THE SUBDIVIDER. THESE RESTRICTIONS ARE SUBJECT TO THE PROVISIONS OF AND MAY BE RELEASED PURSUANT TO THE SUBDIVISION IMPROVEMENTS AGREEMENT EXECUTED BY THE DEVELOPER WITH THE CITY OF GOLDEN.

THE FOREGOING NOTWITHSTANDING, THE SUBDIVIDER MAY CONVEY 100 PERCENT OF THE LOTS IN A PHASE OF THE SUBDIVISION, WITH THE PRIOR WRITTEN CONSENT OF THE CITY MANAGER, PROVIDED, HOWEVER THAT SUCH CONVEYANCE SHALL BE SUBJECT TO THE FOREGOING RESTRICTIONS ON SUBSEQUENT CONVEYANCES AND RESTRICTIONS UPON CERTIFICATES OF OCCUPANCY. THIS PROVISION SHALL NOT RESTRICT THE DEVELOPER FROM ACCEPTING FINANCIAL DEPOSITS FOR LOT RESERVATIONS NOR SHALL IT RESTRICT THE ISSUANCE OF BUILDING PERMITS UPON LOTS HELD BY THE SUBDIVIDER.

STORM WATER DRAINAGE EASEMENT:

THE STORM DRAINAGE EASEMENTS SHOWN HEREON ARE BEING CONVEYED FOR THE PURPOSE OF OPERATION, REPAIR, ALTERATIONS, AND MAINTENANCE OF STORM WATER MANAGEMENT SYSTEM. THE DRAINAGE MAINTENANCE AND OPERATION OF THE SAID FACILITY SHALL BE THE RESPONSIBILITY OF THE CITY OF GOLDEN WHEN THE SAID FACILITY HAS BEEN ACCEPTED BY THE CITY. THE CITY OF GOLDEN HAS THE RIGHT TO ENTER THE PROPERTY FOR THE PURPOSES FOR WHICH THIS EASEMENT HAS BEEN GRANTED.

NO BUILDINGS, FILLS, EXCAVATIONS, STRUCTURES, FENCES OR OTHER ALTERATIONS SHALL BE CONSTRUCTED WITHIN ANY STORM WATER DRAINAGE EASEMENT, EXCEPT ON TRACT M, TRACT N, AND TRACT Q, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE CITY OF GOLDEN.

THE MOWING AND UPKEEP OF LANDSCAPING IN DRAINAGE EASEMENTS SHALL BE THE REQUIREMENT OF THE PROPERTY OWNERS AND SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS.

GENERAL NOTES:

- 1. (NR) AS SHOWN HEREON INDICATES THE LOT LINE IS NON-RADIAL TO ITS RESPECTIVE CURVE.
2. THE BASIS FOR THE BEARINGS SHOWN HEREON IS THE ASSUMED BEARING OF S88°39'53"E ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 70 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED BY A FOUND 1" PIPE AT THE SOUTHWEST CORNER OF SAID SECTION 3 AND A FOUND AXLE AT THE SOUTH QUARTER CORNER OF SAID SECTION 3.
3. NO. 4 REBAR WITH PLASTIC CAP, LS NO. 23899 SET AT POINT SHOWN ON SHEET 2 OF 13 THUS:
4. SETBACK CRITERIA:

Table with columns: FRONT (A), SETBACKS SIDE (B,C), REAR (C), MAX. BLDG. HEIGHT (D). Values: 20', 5', 10', 35'.

- A. FRONT SETBACKS SHALL BE MEASURED FROM THE FACE OF THE STRUCTURE TO THE RIGHT-OF-WAY LINE. WHERE A PORTION OF THE STRUCTURE EXTENDS BEYOND THE GARAGE, THE LIVING STRUCTURE MAY ENCR OACH 4' INTO THE FRONT 20' SETBACK. IN THE CASE OF A SIDE ENTRY GARAGE, THE SIDE OF THE GARAGE WHICH DOES NOT CONTAIN THE GARAGE ENTRY WILL BE ALLOWED TO ENCR OACH 4' INTO THE FRONT 20' SETBACK.
B. LOTS SHALL HAVE A MINIMUM SIDE LOT SETBACK OF 5' BUT WILL HAVE A COMBINED (LEFT AND RIGHT) SETBACK OF 15'.

Vertical text on the left margin: project manager G. THOMAS, designed by T. BUNKER, drawn by N.R.L., job no. 13545.01, sheet no. 1, plot date 05/26/97, N.R.L. PLOT, paper space, model space, information, xreference.

REV: 05/22/98, REV: 03/30/98, REV: 11/24/97, DATE: 9/19/97.

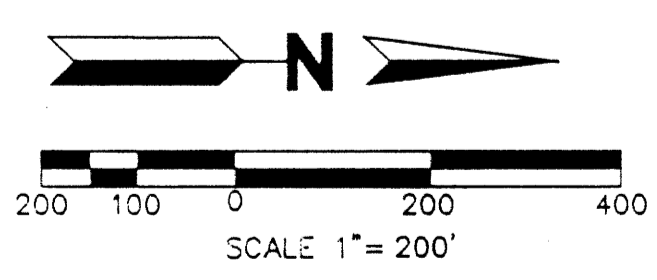
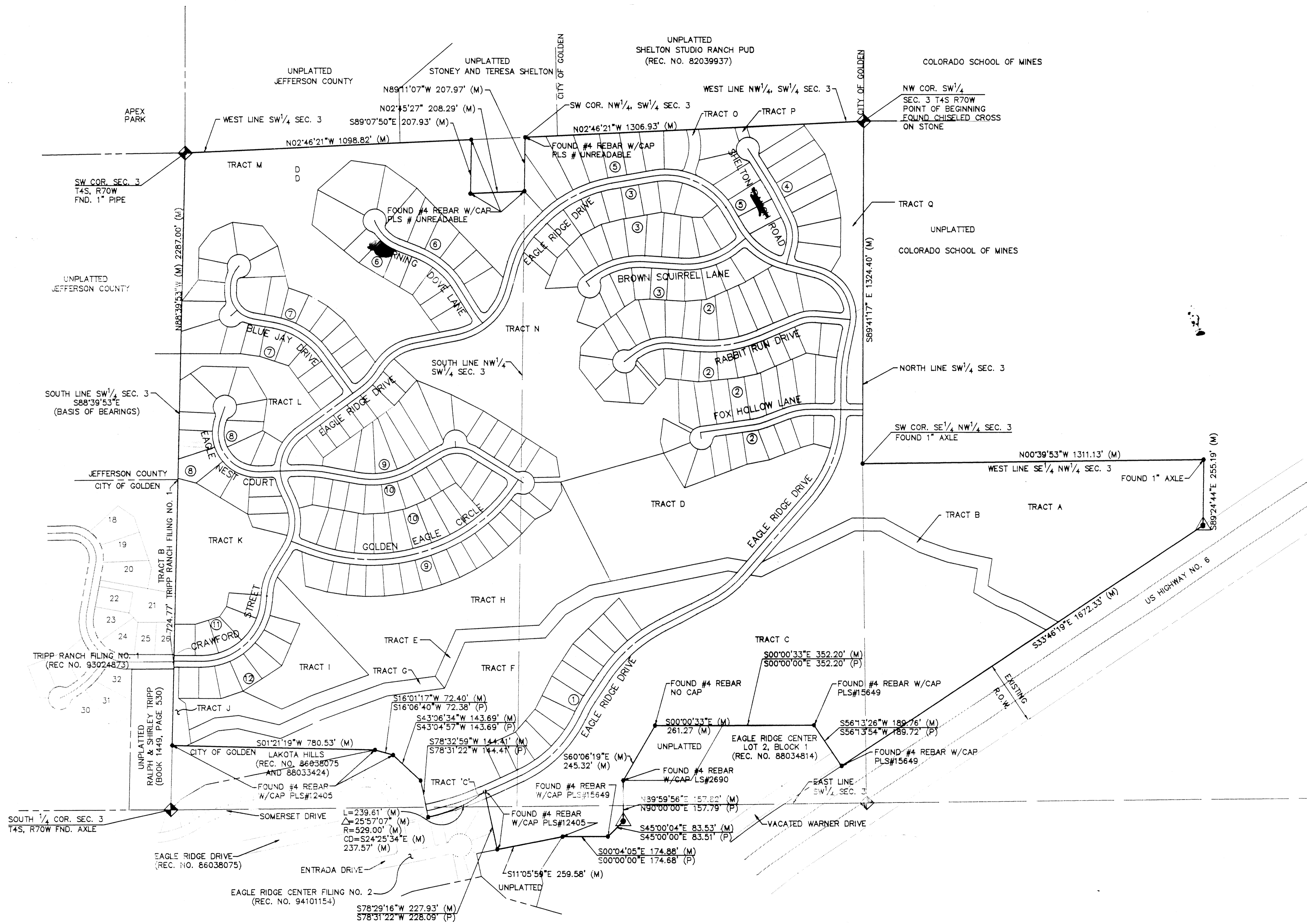
PREPARED BY: MARTIN/MARTIN Consulting Engineers, 4251 Kipling St., Wheat Ridge, CO (303) 431-6100.

FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 2 OF 13

project manager G. THOMAS
designed by T. BUNKER
drawn by NRL
job no. 133545.01
sheet no. FP13

plot date 03/26/97
paper space PLOT
main file and information xreference

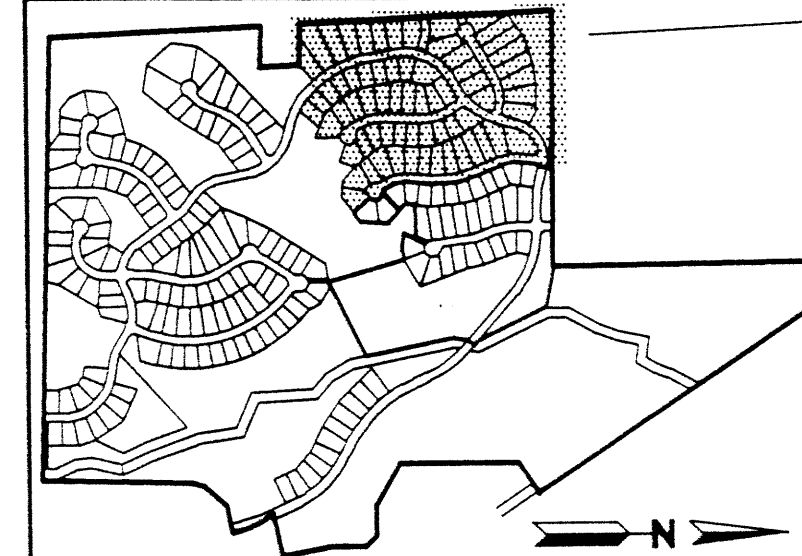


REV: 05/22/98
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

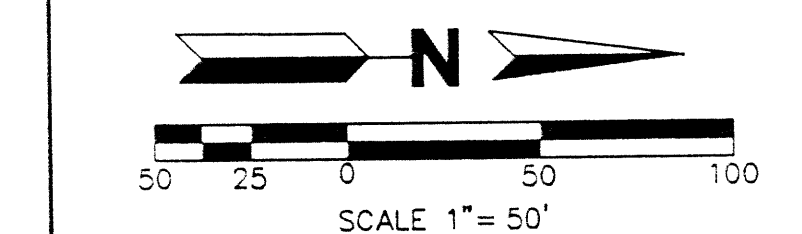
MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100

FINAL PLAT EAGLE RIDGE - FILING NO. 1

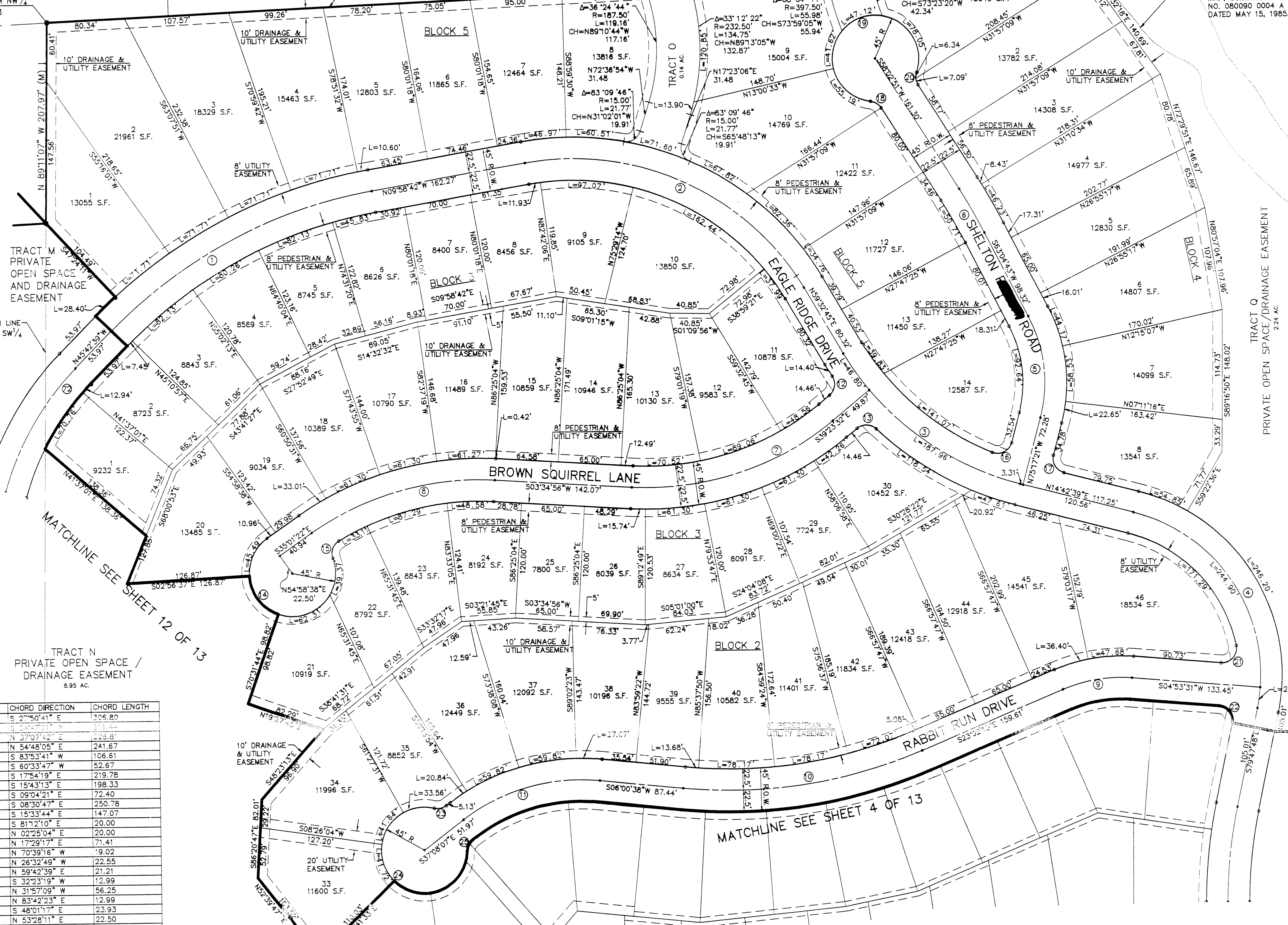
A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 3 OF 13



KEYMAP



NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
1	35°43'57"	500.00	311.82	S 27°50'41" E	306.80
2	28°53'00"	300.00	193.63	S 23°27'01" W	313.44
3	44°53'00"	300.00	193.63	N 37°07'42" E	233.87
4	87°20'11"	175.00	266.75	N 54°48'05" E	241.67
5	41°37'56"	150.00	108.99	S 83°53'41" W	106.61
6	05°01'52"	600.00	52.69	S 60°33'47" W	52.67
7	42°58'28"	300.00	225.01	S 17°54'19" E	219.78
8	38°36'18"	300.00	202.14	S 15°43'13" E	198.33
9	27°55'44"	150.00	73.12	S 09°04'21" E	72.40
10	29°02'51"	500.00	253.49	S 08°30'47" E	250.78
11	43°08'45"	200.00	150.61	S 15°33'44" E	147.07
12	83°37'14"	15.00	21.89	S 81°12'10" E	20.00
13	83°37'14"	15.00	21.89	N 02°25'04" E	20.00
14	254°58'40"	45.00	200.26	N 17°29'17" E	71.41
15	78°41'34"	15.00	20.60	N 70°39'16" W	9.02
16	97°29'04"	15.00	25.52	N 26°32'49" W	22.55
17	90°00'00"	15.00	23.56	N 59°42'39" E	21.21
18	51°19'04"	15.00	13.43	S 32°23'19" W	12.99
19	282°38'08"	45.00	221.98	N 31°57'09" W	56.25
20	51°19'04"	15.00	13.43	N 83°42'23" E	12.99
21	105°49'36"	15.00	27.71	S 48°01'17" E	23.93
22	97°09'19"	15.00	25.44	N 53°28'11" E	22.50
23	51°19'04"	15.00	13.43	S 11°28'35" E	12.99
24	282°38'08"	45.00	221.98	N 52°51'53" E	56.25
25	51°19'04"	15.00	13.43	N 62°47'39" W	12.99
26	28°35'36"	300.00	149.71	S 60°00'27" E	148.17



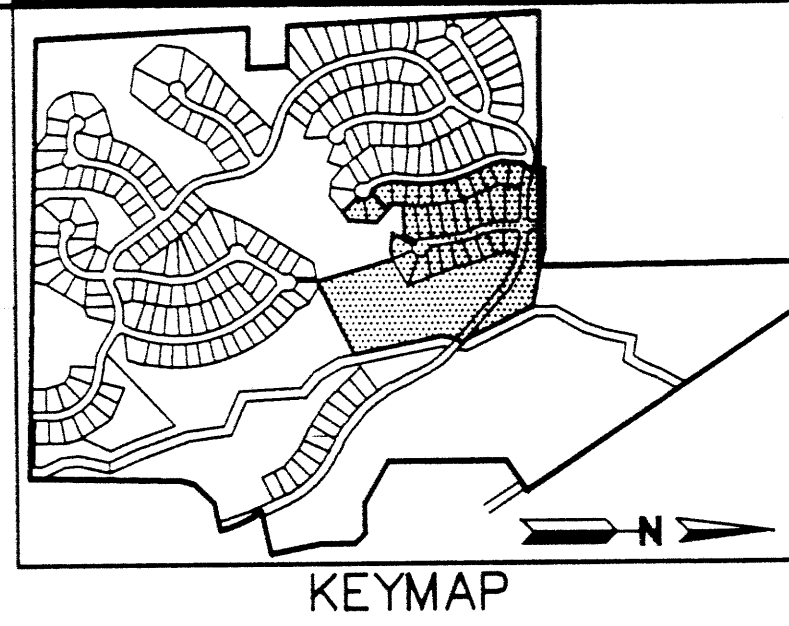
APPROXIMATE LIMITS OF EXISTING 100-YR. FLOOD PLAIN TAKEN FROM FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 080090 0004 A DATED MAY 15, 1985.

REV: 05/22/98
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100

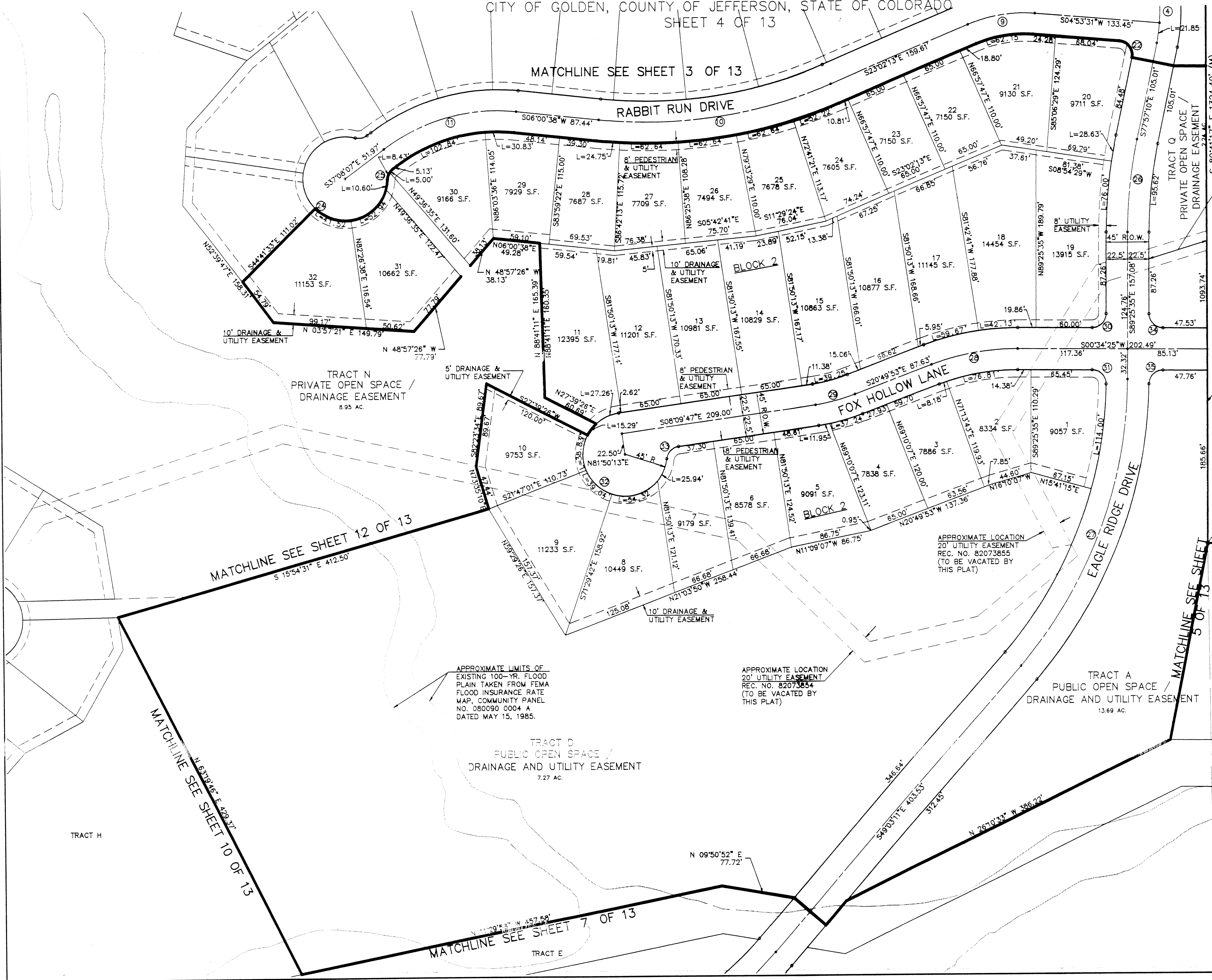
FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 4 OF 13



project G:\THOMAS\EAGLER\ACAD\BASE\
project manager G. THOMAS
designed by T. BUNKER
drawn by N.R.L.
job no. 13545.01
sheet no. 55

plot date 08/26/98
paper space 11.01
cad information
model space
main file(s) INFORMATION
reference



APPROXIMATE LOCATION
20' UTILITY EASEMENT
REC. NO. 82073855
(THIS PORTION OF
EASEMENT NOT VACATED)

NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
4	87°20'11"		175.00	266.75	N 58°22'44" E	241.67
9	27°55'44"		150.00	73.12	S 09°04'21" E	72.40
10	29°02'51"		500.00	253.49	S 08°30'47" E	250.78
11	43°08'45"		200.00	150.61	S 15°33'44" E	147.07
22	97°09'19"		15.00	25.44	N 53°28'11" E	22.50
24	282°38'08"		45.00	221.98	N 52°51'53" E	56.25
25	51°19'04"		15.00	13.43	N 62°47'39" W	12.99
26	11°28'25"		500.00	100.12	N 83°41'23" W	99.96
27	40°22'24"		475.00	334.71	N 69°14'23" W	327.83
28	21°24'18"		250.00	93.40	S 10°07'44" E	92.86
29	1°40'06"		200.00	44.22	S 14°29'50" E	44.13
30	90°00'00"		15.00	23.56	S 44°25'35" E	21.21
31	90°40'44"		15.00	23.74	N 45°54'48" E	21.34
32	255°31'21"		45.00	200.69	N 44°04'32" E	71.15
33	75°31'21"		15.00	19.77	N 45°55'28" W	18.37
34	90°00'00"		15.00	23.56	N 45°34'25" E	21.21
35	89°25'14"		15.00	23.41	N 44°08'11" W	21.11

NORTH LINE
SW 1/4 SEC. 3

UNPLATTED
COLORADO SCHOOL
OF MINES

SW COR. SE 1/4, NW 1/4 SEC. 3

TRACT A
PUBLIC OPEN SPACE /
DRAINAGE AND UTILITY EASEMENT
13.69 AC.

CENTERLINE OF ELECTRIC LINE
EASEMENT BK. 153, PG. 276
NO WIDTH GIVEN

CENTERLINE OF TELEPHONE LINE
EASEMENT BK. 153, PG. 276
NO WIDTH GIVEN

APPROXIMATE LIMITS OF
EXISTING 100-YR. FLOOD
PLAIN TAKEN FROM FEMA
FLOOD INSURANCE RATE
MAP, COMMUNITY PANEL
NO. 080090 0004 A
DATED MAY 15, 1985.

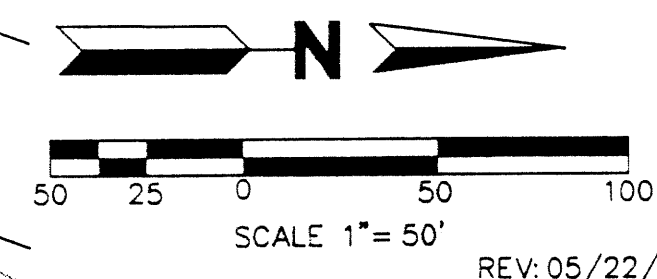
APPROXIMATE LOCATION
20' UTILITY EASEMENT
REC. NO. 82073855
(TO BE VACATED BY
THIS PLAT)

APPROXIMATE LOCATION
20' UTILITY EASEMENT
REC. NO. 82073855
(TO BE VACATED BY
THIS PLAT)

TRACT D
PUBLIC OPEN SPACE /
DRAINAGE AND UTILITY EASEMENT
7.27 AC.

TRACT A
PUBLIC OPEN SPACE /
DRAINAGE AND UTILITY EASEMENT
13.69 AC.

TRACT B
TRAIL / DRAINAGE AND
UTILITY EASEMENT
1.58 AC.

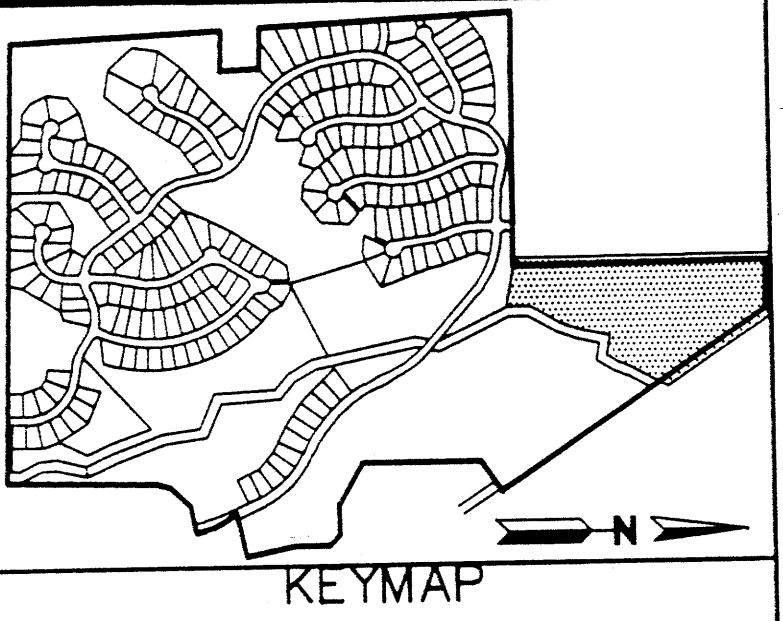


REV: 05/22/98
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100

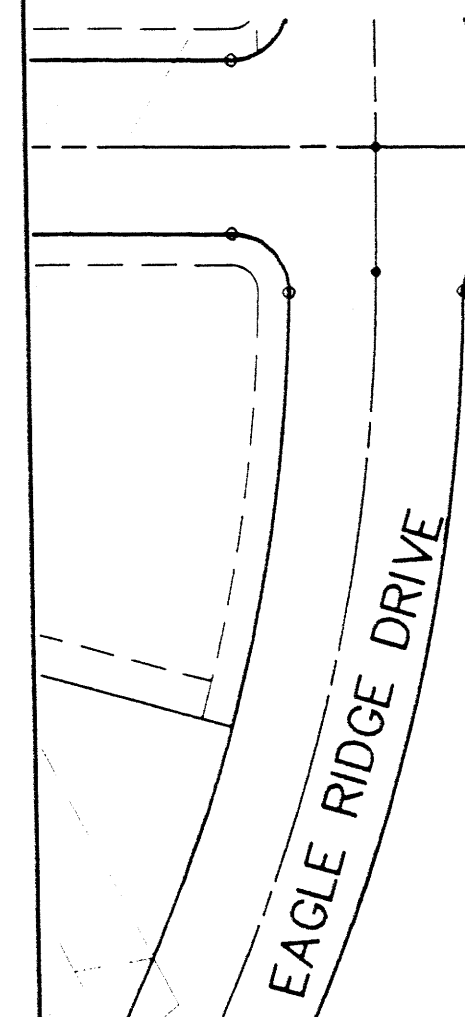
FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 5 OF 13



project G:\THOMAS\EAGLER\ACAD\BASE\
project manager C. THOMAS
designed by T. BUNKER
drawn by NRL

plot date 08/26/97
paper space
model space
main file(s) INFORMATION xreference



MATCHLINE SEE SHEET 4 OF 13

SW COR. SE 1/4, NW 1/4 SEC. 3

N 00°39'53" W 1311.13' (M)

WEST LINE SE 1/4, NW 1/4 SEC. 3

S 89°24'44" E 255.19' (M)

CENTERLINE OF ELECTRIC LINE
EASEMENT BK. 153, PG. 276
NO WIDTH GIVEN

CENTERLINE OF TELEPHONE LINE
EASEMENT BK. 153, PG. 276
NO WIDTH GIVEN

TRACT A
PUBLIC OPEN SPACE /
DRAINAGE AND
UTILITY EASEMENT
13.69 AC.

TRACT A
PUBLIC OPEN SPACE /
DRAINAGE AND UTILITY EASEMENT
13.69 AC.

N 00°30'42" E 123.27'

TRACT B
TRAIL / DRAINAGE AND
UTILITY EASEMENT
1.56 AC.

MATCHLINE SEE SHEET 6 OF 13

APPROXIMATE LIMITS OF
EXISTING 100-YR. FLOOD
PLAIN TAKEN FROM FEMA
FLOOD INSURANCE RATE
MAP, COMMUNITY PANEL
NO. 080090 0004-A
DATED MAY 15, 1985.

TRACT C
PUBLIC OPEN SPACE /
DRAINAGE AND UTILITY EASEMENT
23.45 AC.

N 30°23'06" E
60.66'

N 22°27'40" E
78.98'

20' COLORADO AND CENTRAL
POWER COMPANY EASEMENT
BK. 1281, PG. 555

N 28°37'26" E 165.13'

S 33°46'19" E 1672.33' (M)

50' UTILITY
EASEMENT

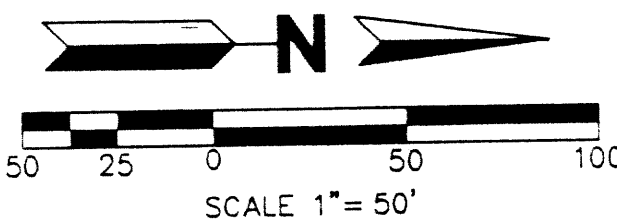
10' MOUNTAIN STATES TELEPHONE
AND TELEGRAPH CO. EASEMENT
BK. 2553, PG. 324

CL 16' ACCESS
BK. 699, PG. 259

672.10'

EXISTING ROW

US HIGHWAY NO. 6

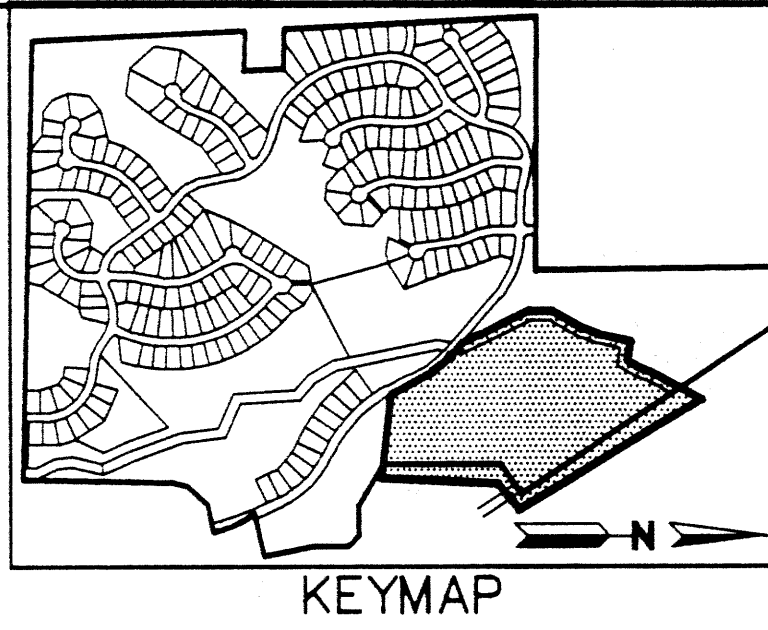


REV: 05/22/98
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100

FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 6 OF 13



NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
36		21°53'39"	400.00	152.85	N 38°06'21" W	151.92
37		29°09'57"	600.00	305.42	N 41°44'30" W	302.14

TRACT A
PUBLIC OPEN SPACE /
DRAINAGE AND UTILITY EASEMENT
13.69 AC.

TRACT B
TRAIL/DRAINAGE AND
UTILITY EASEMENT
1.56 AC.

TRACT C
PUBLIC OPEN SPACE/DRAINAGE
AND UTILITY EASEMENT
23.45 AC.

APPROXIMATE LIMITS OF
EXISTING 100-YR. FLOOD
PLAIN TAKEN FROM FEMA
FLOOD INSURANCE RATE
MAP, COMMUNITY PANEL
NO. 080090 0004 A
DATED MAY 15, 1985.

CENTERLINE OF ELECTRIC LINE
EASEMENT BK. 153, PG. 276
NO WIDTH GIVEN

20' COLORADO AND CENTRAL
POWER COMPANY EASEMENT
BK. 1281, PG. 555

CENTERLINE OF TELEPHONE LINE
EASEMENT BK. 153, PG. 276
NO WIDTH GIVEN

10' MOUNTAIN STATES TELEPHONE
AND TELEGRAPH CO. EASEMENT
BK. 2553, PG. 324

50' UTILITY
EASEMENT

EXISTING 17' W
US HIGHWAY NO. 6

EAGLE RIDGE CENTER
LOT 2, BLOCK 1
(REC. NO. 88034814)

VACATED
WARNER DRIVE

EAGLE RIDGE DRIVE
45' ROW
22.51' (22.51)
S 89°03'11" E 403.83'
85.43'
23.85'

project G:\THOMAS\EAGLER\ACAD\BASE\
project manager G. THOMAS
designed by T. BUNKER
drawn by NREL
job no. 13545.01
sheet no. FP5

plot date 03/26/97
paper space
model space
main file(D) INFORMATION xreference

REV: 05/22/98
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

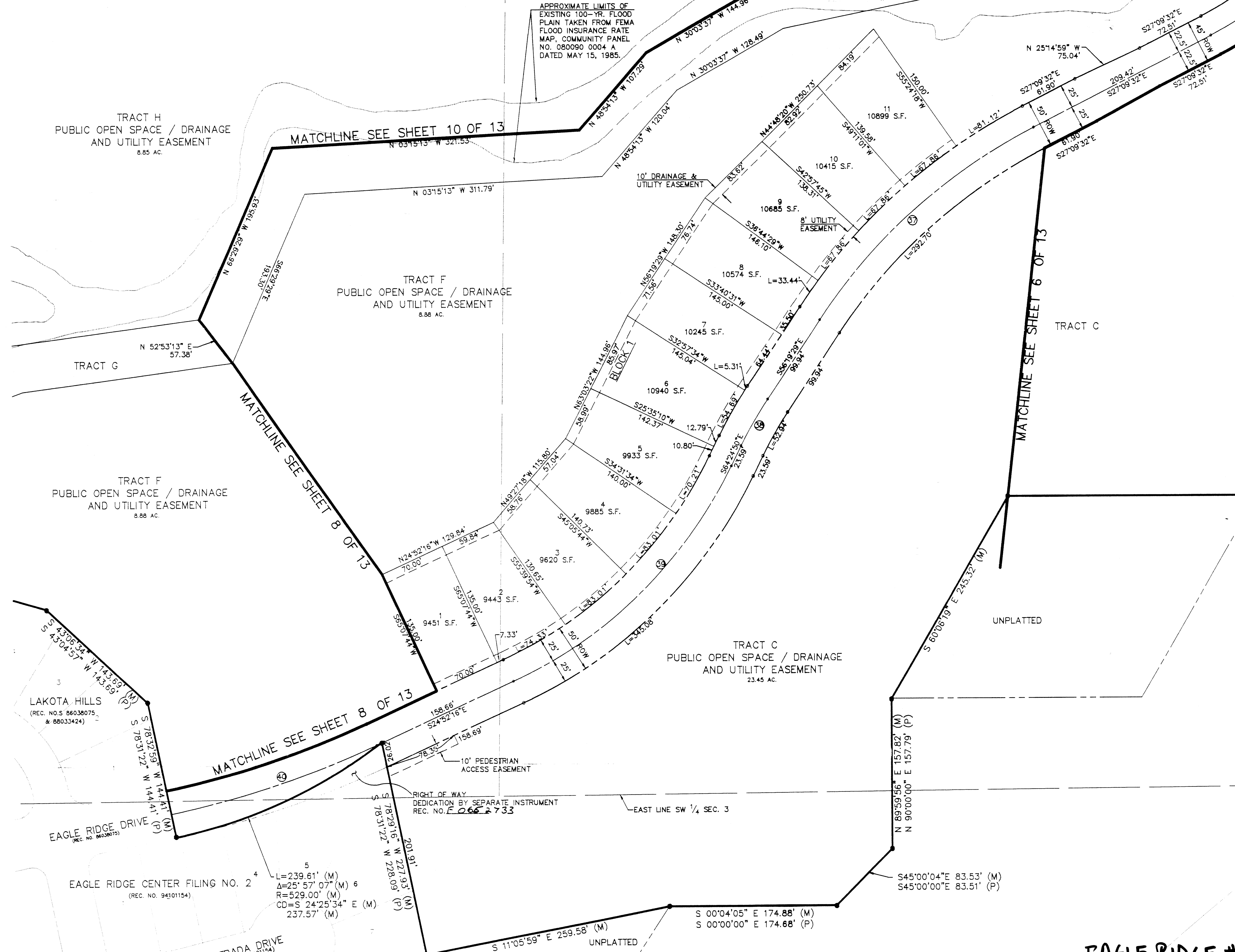
MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100

EAGLE RIDGE #1 PLAT SUBDIVISION

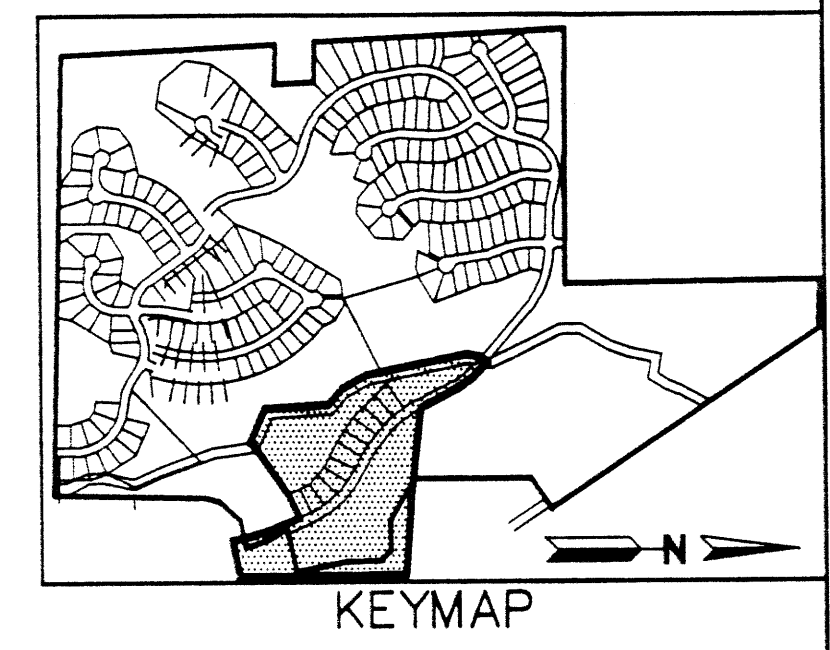
FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 7 OF 13

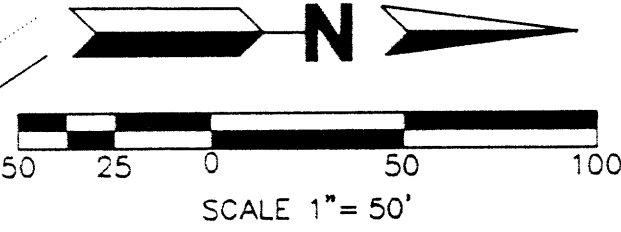
project G:\THOMAS\SHELTON\PLAT
project manager C. THOMAS job no. 1367901
designed by T. BUNKER sheet no. 1116
drawn by R. DUFFEY



APPROXIMATE LIMITS OF EXISTING 100-YR. FLOOD PLAIN TAKEN FROM FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 080090 0004 A DATED MAY 15, 1985.



NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD	DIRECTION	CHORD LENGTH
36		21°53'39"	400.00	152.85		N 38°06'21" W	151.92
37		29°09'57"	600.00	305.42		N 41°44'30" W	302.14
38		08°05'21"	400.00	56.47		N 60°22'10" W	56.43
39		39°32'34"	475.00	327.82		N 44°38'33" W	321.36
40		13°23'22"	975.00	227.85		N 18°10'57" W	227.33



plot date 04/14/2000
paper space PLOT
main file C:\DWC xreference D:\E

EAGLE RIDGE CENTER FILING NO. 2
(REC. NO. 94101154)
L=239.61' (M)
Δ=25°57'07" (M)
R=529.00' (M)
CD=S 24°25'34" E (M)
237.57' (M)

REV: 05/22/98
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100

EAGLE RIDGE #1 PLAT/SUBDIVISION

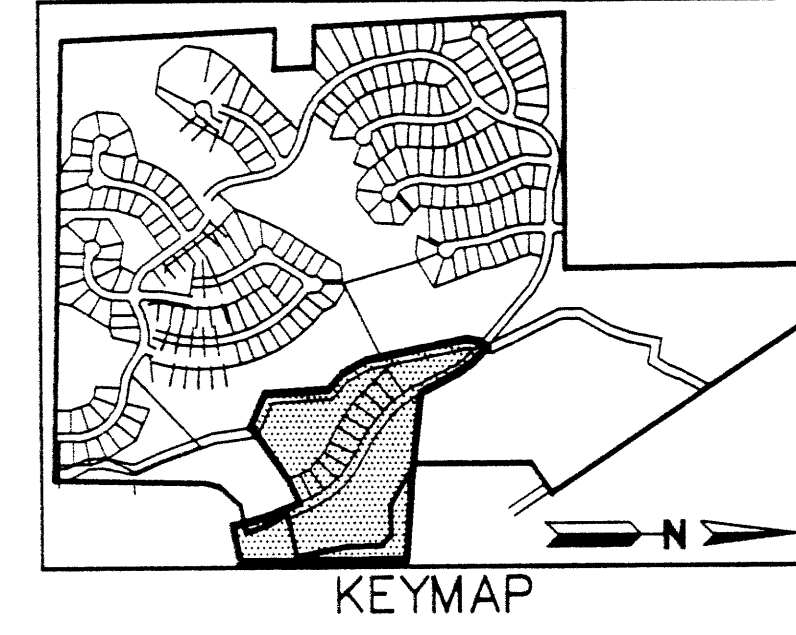
FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 7 OF 13

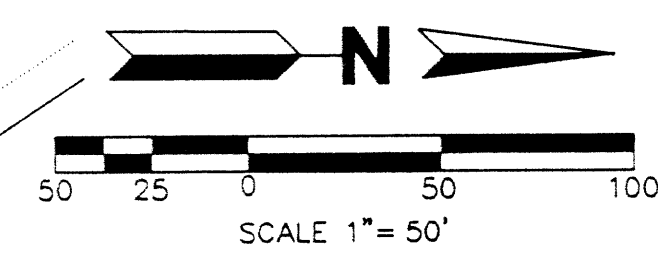
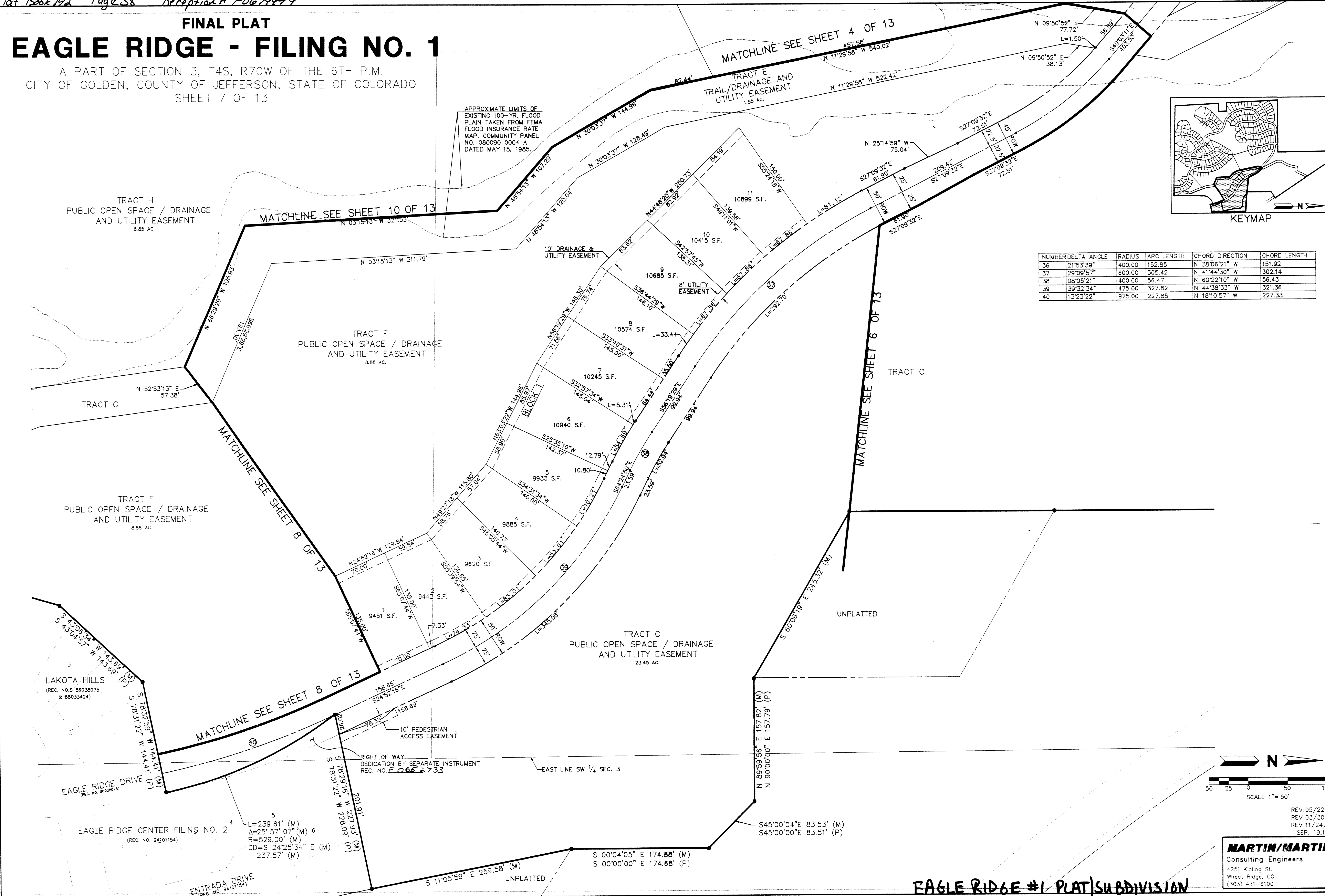
project G:\THOMAS\SHELTON\PLAT
project manager C. THOMAS
designed by T. BUNKER
drawn by R. DUFFEY

plot date 04/14/2004
paper space PLOT
main file C:\DWG xreference DAVE

APPROXIMATE LIMITS OF EXISTING 100-YR. FLOOD PLAIN TAKEN FROM FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 080090 0004 A DATED MAY 15, 1985.



NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
36	21°53'39"		400.00	152.85	N 38°06'21" W	151.92
37	29°09'57"		600.00	305.42	N 41°44'30" W	302.14
38	08°05'21"		400.00	56.47	N 60°22'10" W	56.43
39	39°32'34"		475.00	327.82	N 44°38'33" W	321.36
40	13°23'22"		975.00	227.85	N 18°10'57" W	227.33



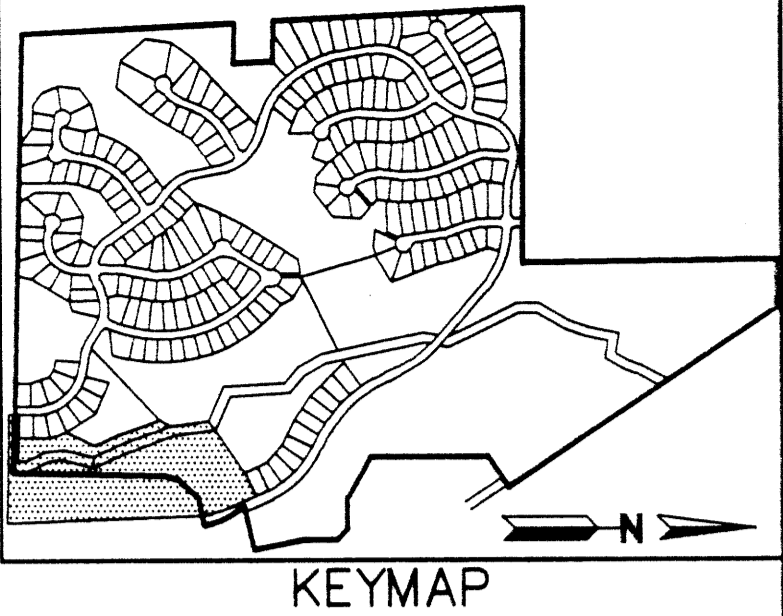
REV: 05/22/98
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100

EAGLE RIDGE #1 PLAT/SUBDIVISION

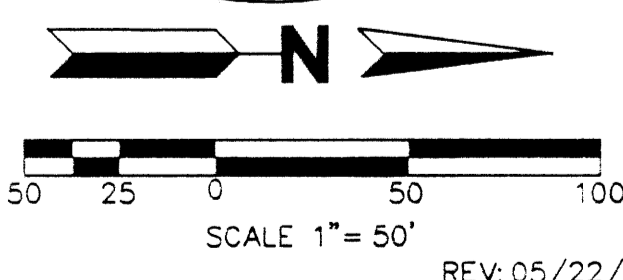
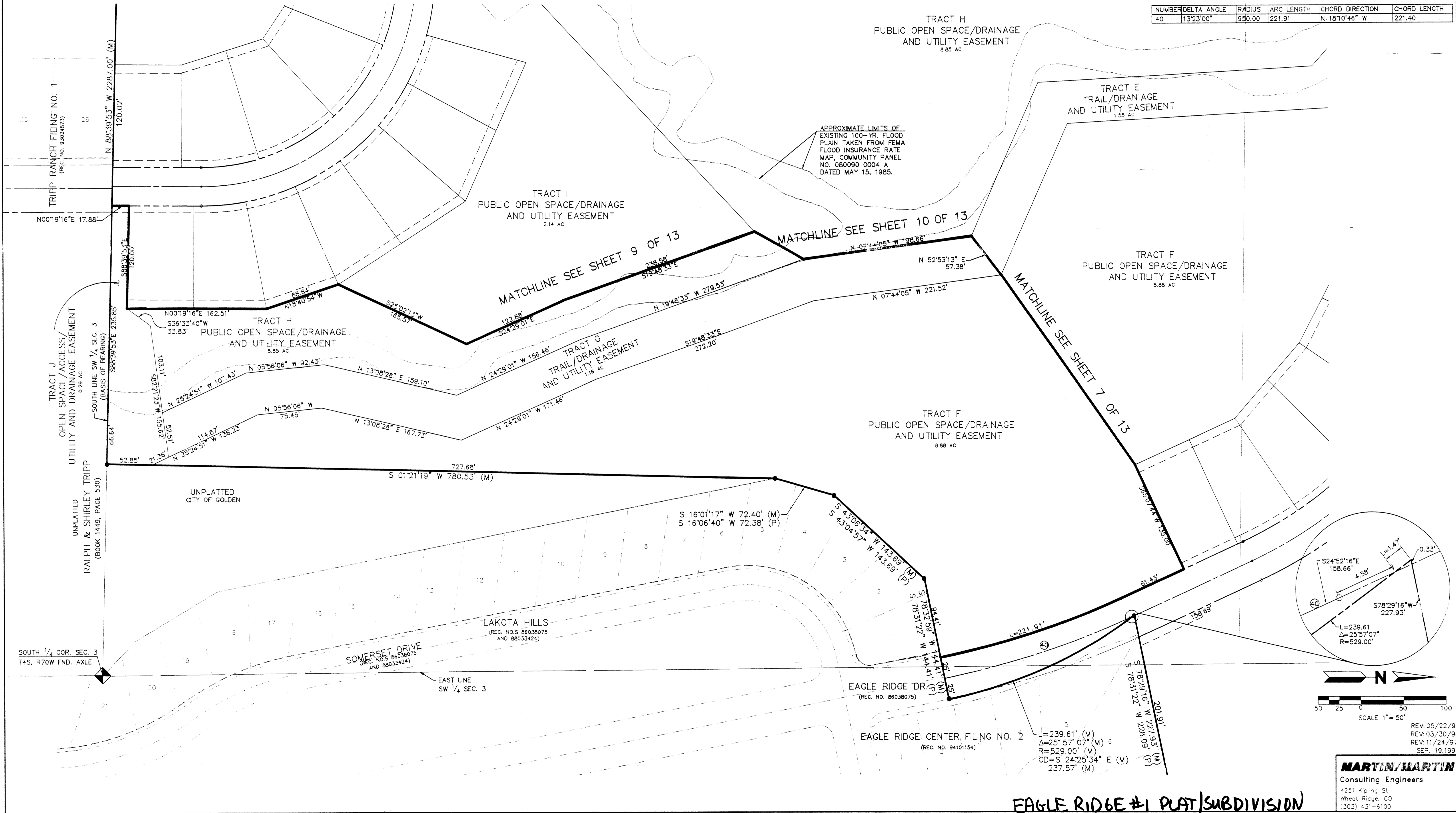
FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 8 OF 13



KEYMAP

NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD	DIRECTION	CHORD LENGTH
40	13°23'00"		950.00	221.91	N. 18°10'46" W		221.40



MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100

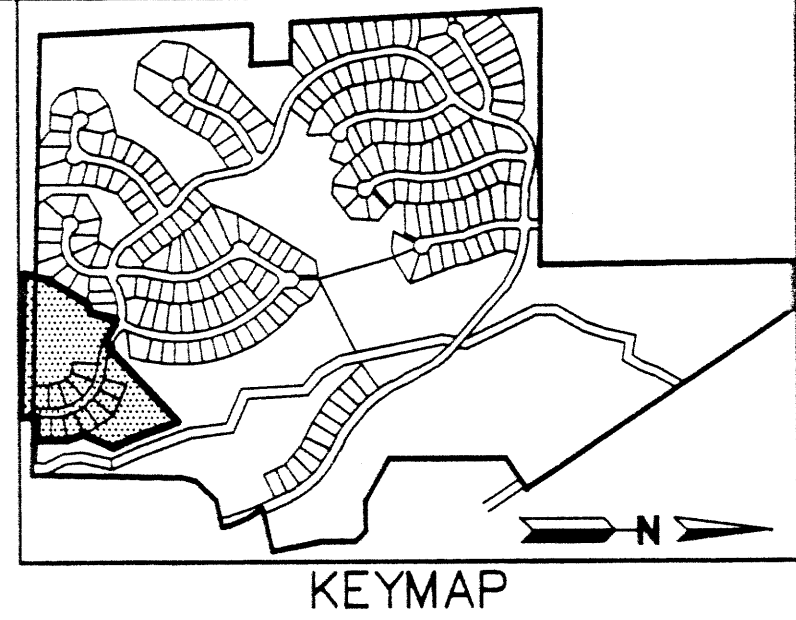
EAGLE RIDGE #1 PLAT/SUBDIVISION

project G:\THOMAS\EAGLER\ACAD\BASE\
 project manager C. THOMAS
 designed by T. BUNKER
 job no. 13545.01
 sheet no. FP7
 drawn by NRL
 plot date 08/26/97
 paper space P1.01
 model space
 main file information reference

REV: 05/22/98
 REV: 03/30/98
 REV: 11/24/97
 SEP. 19, 1997

FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 9 OF 13



NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
41	85°52'58"	250.00	374.73	N 42°37'13" W	340.63
42	27°46'31"	200.00	96.95	N 71°40'27" W	96.01
43	57°24'41"	200.00	200.40	N 86°29'33" W	192.12

APPROXIMATE LIMITS OF EXISTING 100-YR. FLOOD PLAIN TAKEN FROM FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 080090 0004 A DATED MAY 15, 1985.

TRACT K
PRIVATE OPEN SPACE/
DRAINAGE EASEMENT
3.45 AC.

TRACT H
PUBLIC OPEN SPACE/DRAINAGE
AND UTILITY EASEMENT
8.85 AC.

TRACT I
PUBLIC OPEN SPACE/DRAINAGE
AND UTILITY EASEMENT
2.14 AC.

TRACT H
PUBLIC OPEN SPACE/DRAINAGE
AND UTILITY EASEMENT
8.85 AC.

TRACT G
TRAIL/DRAINAGE
AND UTILITY EASEMENT
1.16 AC.

TRACT F
PUBLIC OPEN SPACE/DRAINAGE
AND UTILITY EASEMENT
8.88 AC.

TRIPP RANCH FILING NO. 1
(REC. NO. 93024873)

TRACT B
TRIPP RANCH FILING NO. 1
(REC. NO. 93024873)

SOUTH LINE SW 1/4 SEC. 3
(BASIS OF BEARINGS)

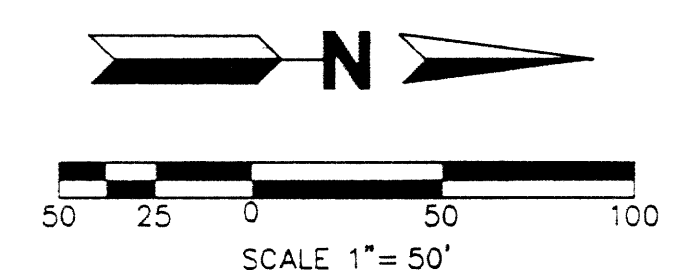
CRAWFORD STREET
(REC. NO. 93024873)

UNPLATTED
RALPH & SHIRLEY TRIPP

MATCHLINE SEE SHEET 8 OF 13

MATCHLINE SEE SHEET 10 OF 13

MATCHLINE SEE SHEET 11 OF 13



REV: 05/22/98
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

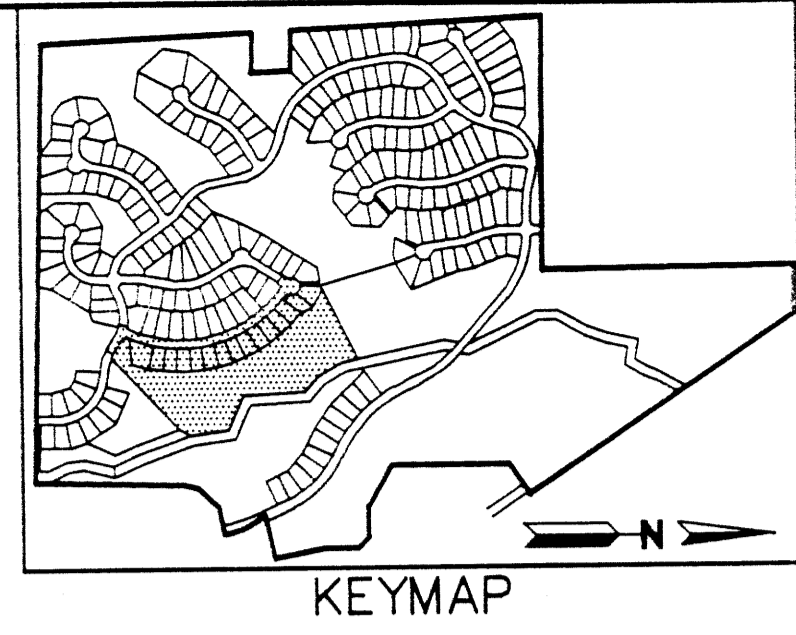
MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100

EAGLE RIDGE #1 PLAT/SUBDIVISION

project manager: G. THOMAS
designed by: T. BUNKER
drawn by: NRL
job no.: 13545.01
sheet no.: FP8
plot date: 05/26/97
paper space: PL01
main file: D:\INFORMATION\reference

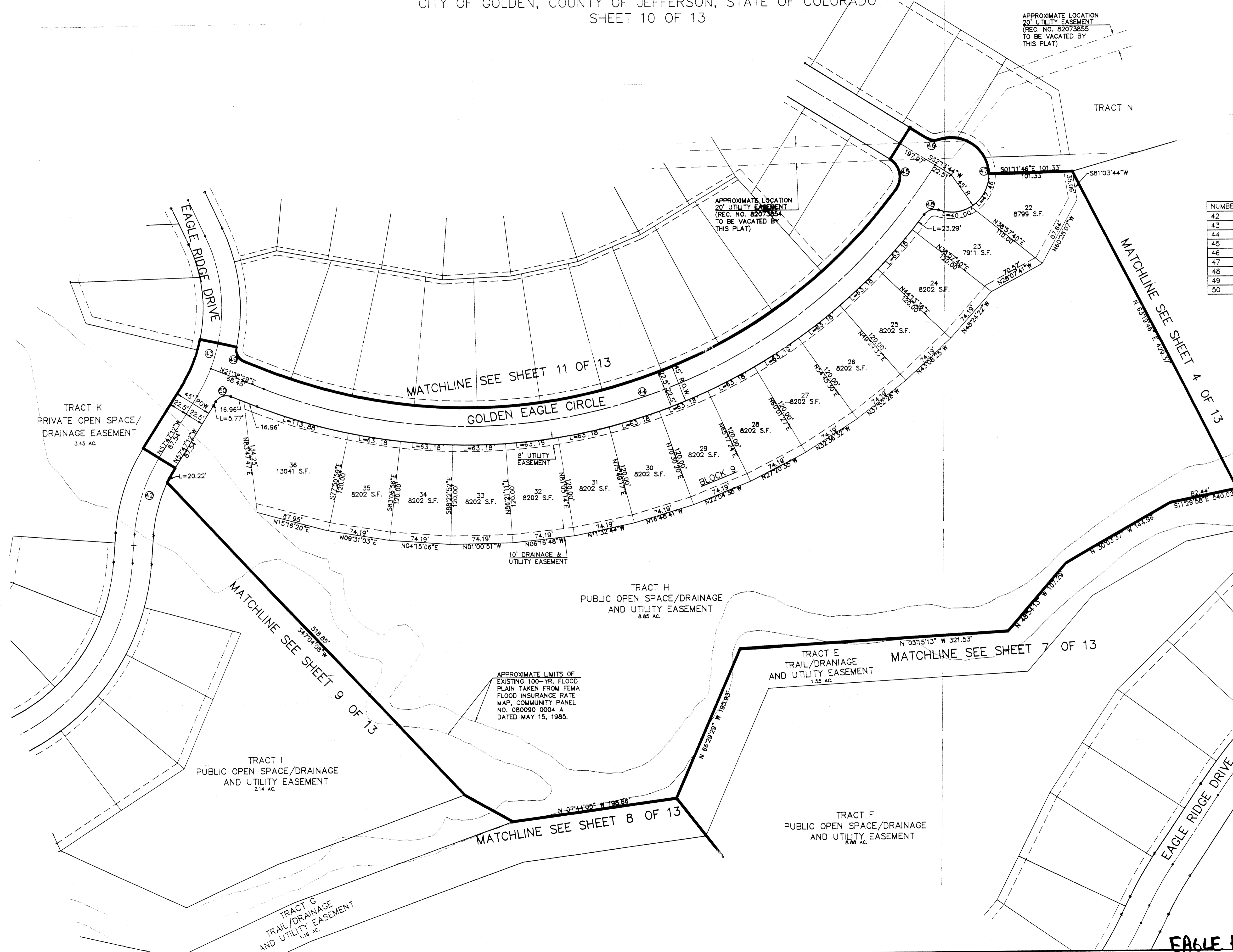
FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 10 OF 13

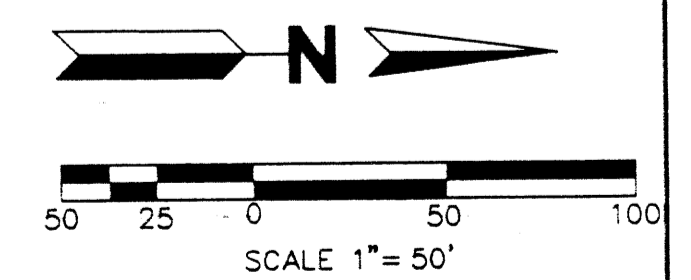


project G:\THOMAS\EAGLER\ACAD\BASE\
project manager G. THOMAS
designed by T. BUNKER
drawn by NRL
job no. 13945.01
sheet no. FP9

plot date 08/26/97
paper space PLOT
model space
main file D:\MFORMATION xref\erance



NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
42	27°46'31"	200.00	96.95	N 71°40'27" W	96.01
43	57°24'41"	200.00	200.40	N 86°29'33" W	192.12
44	79°24'44"	665.00	921.69	N 18°03'54" W	849.67
45	94°24'42"	25.00	41.19	S 79°26'05" W	36.69
46	51°19'04"	15.00	13.43	N 06°34'12" E	12.99
47	219°14'55"	45.00	172.20	S 89°27'52" E	84.77
48	73°08'24"	15.00	19.15	S 16°24'36" E	17.87
49	80°54'55"	15.00	21.18	S 62°05'56" W	19.47
50	80°54'55"	15.00	21.18	N 18°48'59" W	19.47



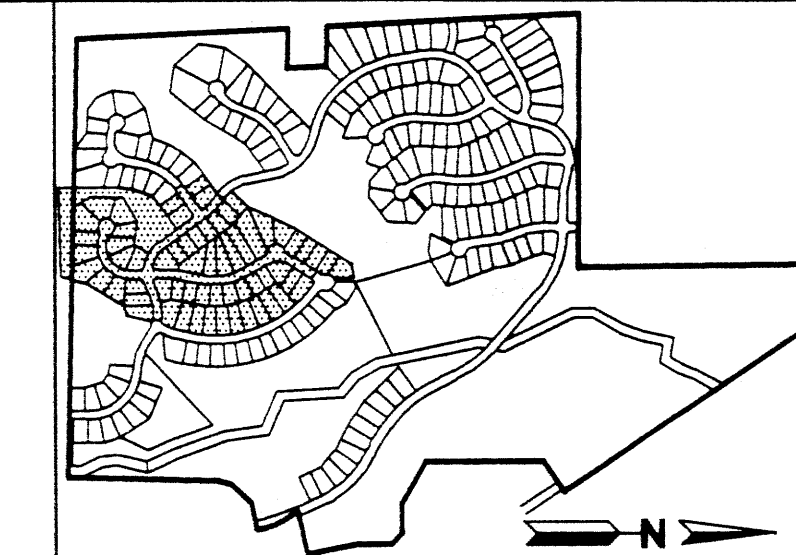
REV: 05/22/98
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-8100

EAGLE RIDGE #1 PLAT/SUB

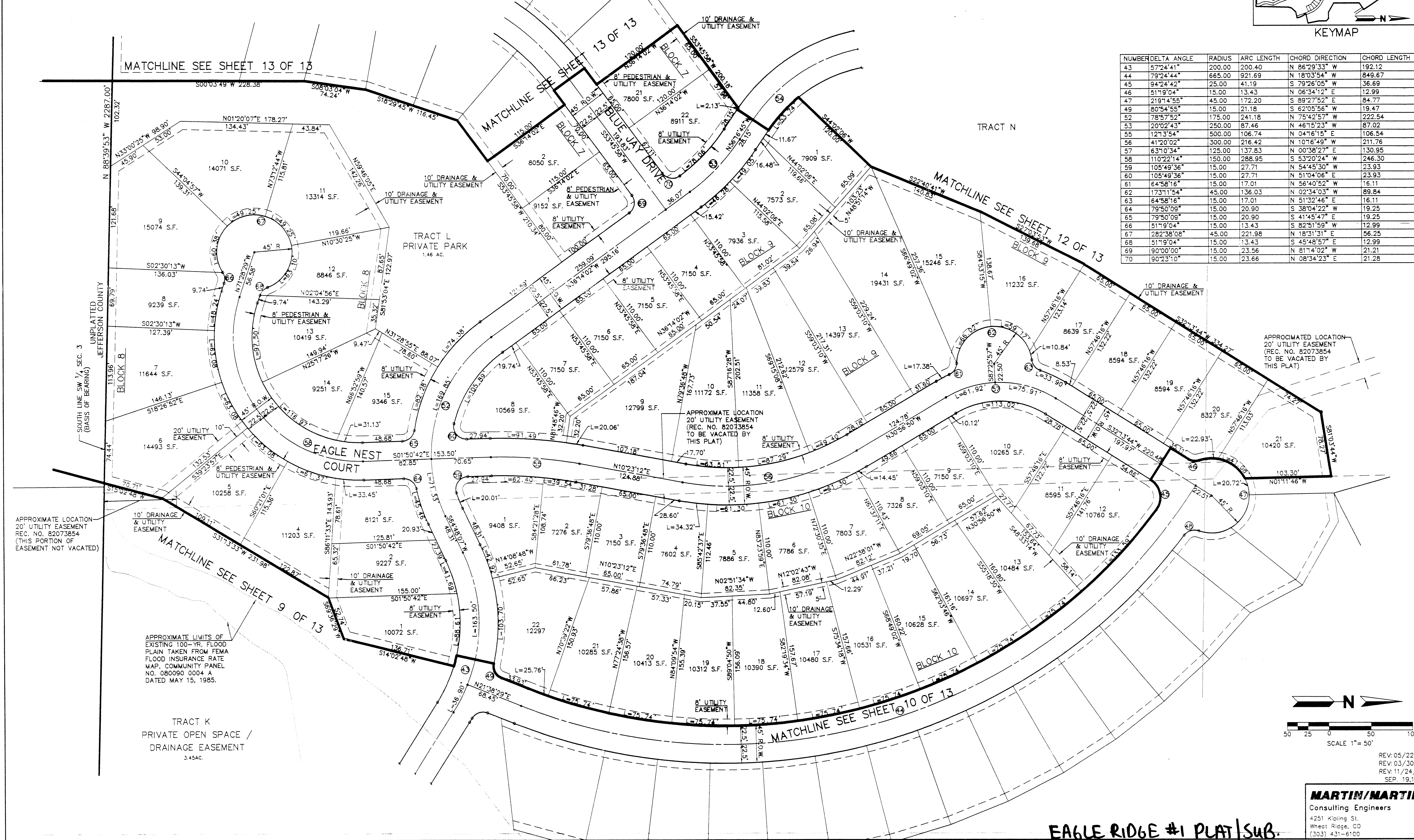
FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 11 OF 13



KEYMAP

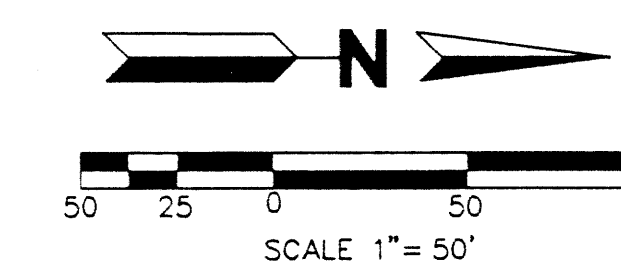
NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD	DIRECTION	CHORD LENGTH
43	57°24'41"		200.00	200.40		N 86°29'33" W	192.12
44	79°24'44"		665.00	921.69		N 18°03'54" W	849.67
45	94°24'42"		25.00	41.19		S 79°26'05" W	36.69
46	51°19'04"		15.00	13.43		N 06°34'12" E	12.99
47	219°14'55"		45.00	172.20		S 89°27'52" E	84.77
49	80°54'55"		15.00	21.18		S 62°05'56" W	19.47
52	78°57'52"		175.00	241.18		N 75°42'57" W	222.54
53	20°02'43"		250.00	87.46		N 46°15'23" W	87.02
55	12°13'54"		500.00	106.74		N 04°16'15" E	106.54
56	41°20'02"		300.00	216.42		N 10°16'49" W	211.76
57	63°10'34"		125.00	137.83		N 00°38'27" E	130.95
58	110°22'14"		150.00	288.95		S 53°20'24" W	246.30
59	105°49'36"		15.00	27.71		N 54°45'30" W	23.93
60	105°49'36"		15.00	27.71		N 51°04'06" E	23.93
61	64°58'16"		15.00	17.01		N 56°40'52" W	16.11
62	173°11'54"		45.00	136.03		N 02°34'03" W	89.84
63	64°58'16"		15.00	17.01		N 51°32'46" E	16.11
64	79°50'09"		15.00	20.90		S 38°04'22" W	19.25
65	79°50'09"		15.00	20.90		S 41°45'47" E	19.25
66	51°19'04"		15.00	13.43		S 82°51'59" W	12.99
67	282°38'08"		45.00	221.98		N 18°31'31" E	96.25
68	51°19'04"		15.00	13.43		S 45°48'57" E	12.99
69	90°00'00"		15.00	23.56		N 81°14'02" W	21.21
70	90°23'10"		15.00	23.66		N 08°34'23" E	21.28



project manager
G. THOMAS
designed by
T. BUNKER
drawn by
NRL

plot date
08/26/97
paper space
14.01
reference
NRL

cad information
model space
main file
INF ORMA ION



SCALE 1" = 50'

REV: 05/22/98
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

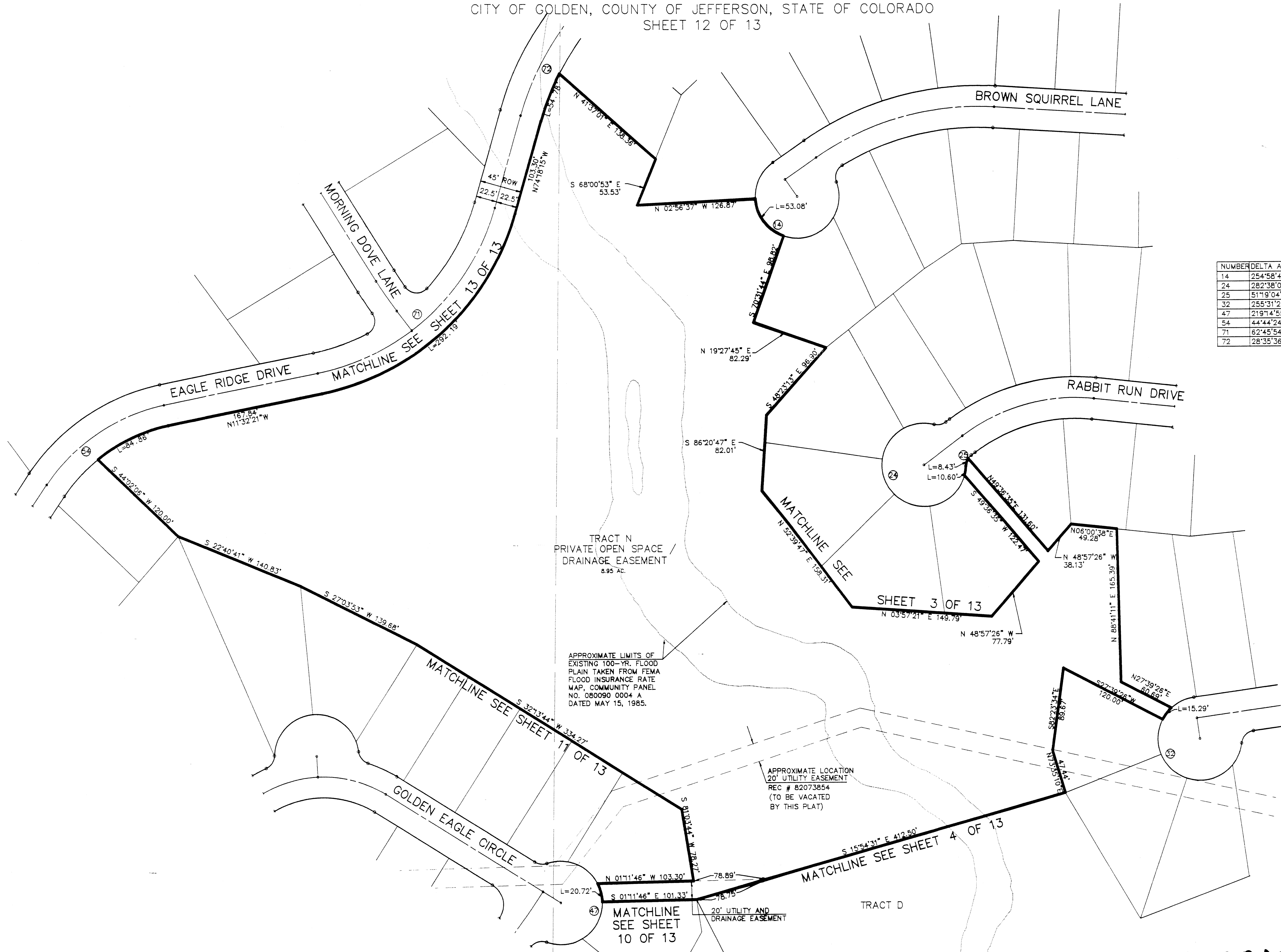
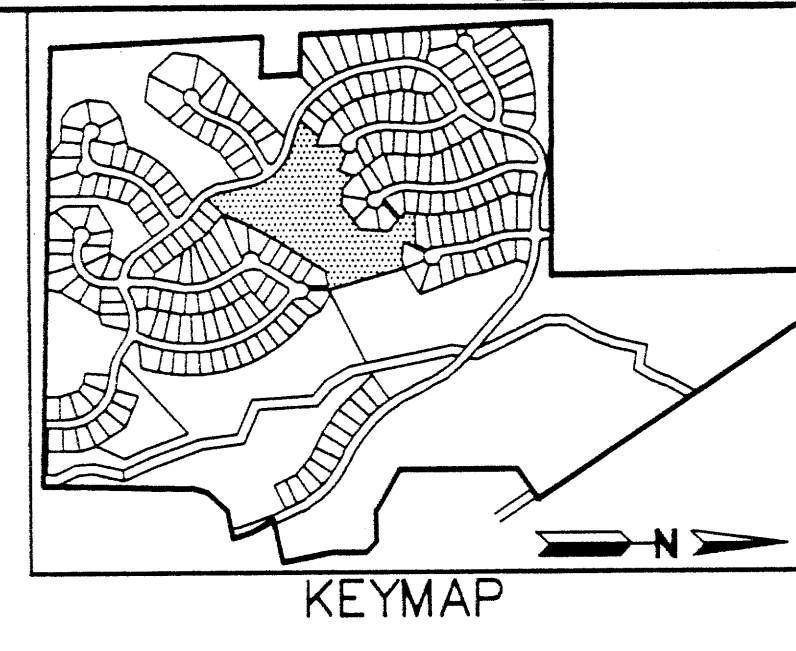
MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100

EAGLE RIDGE #1 PLAT/SUB.

project G:\THOMAS\EAGLER\ACAD\BASE\
 project manager G. THOMAS
 designed by T. BUNKER
 drawn by NRI
 job no. 13545.01
 sheet no. FP11

FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
 CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
 SHEET 12 OF 13



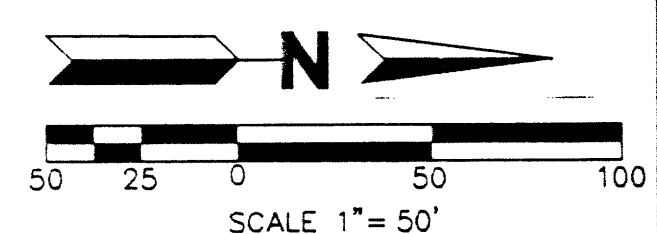
NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD	DIRECTION	CHORD LENGTH
14	254°58'40"		45.00	200.26		N 17°29'17" E	71.41
24	282°38'08"		45.00	221.98		N 52°51'53" E	56.25
25	51°19'04"		15.00	13.43		N 62°47'39" W	12.99
32	255°31'21"		45.00	200.69		N 44°04'32" E	71.15
47	219°14'55"		45.00	172.20		S 89°27'52" E	84.77
54	44°44'24"		200.00	156.17		N 33°54'33" W	152.23
71	62°45'54"		250.00	273.86		N 42°55'18" W	260.37
72	28°35'36"		300.00	149.71		N 60°00'27" W	148.17

TRACT N
 PRIVATE OPEN SPACE /
 DRAINAGE EASEMENT
 8.95 AC.

APPROXIMATE LIMITS OF
 EXISTING 100-YR. FLOOD
 PLAIN TAKEN FROM FEMA
 FLOOD INSURANCE RATE
 MAP, COMMUNITY PANEL
 NO. 080090 0004 A
 DATED MAY 15, 1985.

APPROXIMATE LOCATION
 20' UTILITY EASEMENT
 REC # 82073854
 (TO BE VACATED
 BY THIS PLAT)

20' UTILITY AND
 DRAINAGE EASEMENT



REV: 05/22/98
 REV: 03/30/98
 REV: 11/24/97
 SEP. 19, 1997

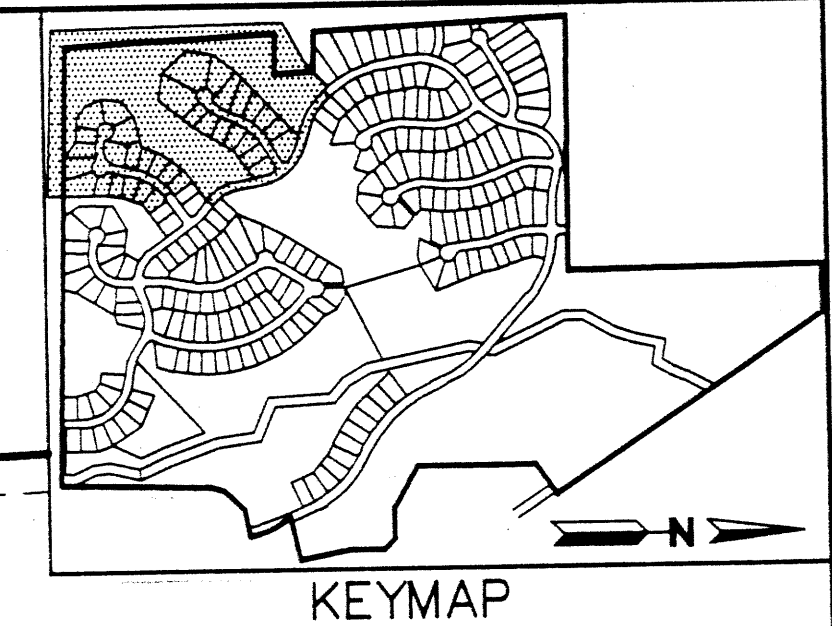
MARTIN/MARTIN
 Consulting Engineers
 4251 Kipling St.
 Wheat Ridge, CO
 (303) 431-6100

EAGLE RIDGE #1 PLAT/SUB

plot date 08/26/97 NRI
 model space PLOT
 paper space
 xreference
 main file INFORMATION

FINAL PLAT EAGLE RIDGE - FILING NO. 1

A PART OF SECTION 3, T4S, R70W OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 13 OF 13



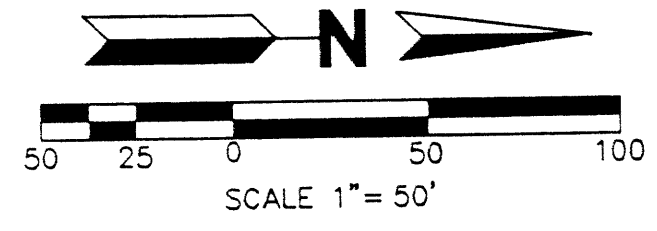
project G:\THOMAS\EAGLER\ACAD\BASE 1
project manager G. THOMAS
designed by T. BUNKER
drawn by NRL

plot date 08/26/97
paper space PLOT
model space
main file information xreference



APPROXIMATE LIMITS OF EXISTING 100-YR. FLOOD PLAIN TAKEN FROM FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 080090 0004 A DATED MAY 15, 1985.

NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD	DIRECTION	CHORD LENGTH
54	44°44'24"		200.00	156.17	N 33°54'33" W	152.23	
71	62°45'54"		250.00	273.86	N 42°55'18" W	260.37	
72	28°35'36"		300.00	149.71	N 60°00'27" W	148.17	
73	43°39'57"		300.00	228.63	S 31°58'00" W	223.14	
73	80°35'58"		100.00	140.67	S 50°24'00" W	129.36	
74	80°35'58"		100.00	140.67	S 50°24'00" W	129.36	
75	37°26'31"		100.00	65.35	N 70°34'46" W	64.19	
76	05°32'41"		400.00	38.71	S 55°37'48" W	38.70	
77	36°49'12"		300.00	192.79	S 39°59'32" W	189.49	
78	46°24'02"		150.00	121.48	S 44°46'57" W	118.18	
79	72°04'59"		15.00	18.87	S 12°53'51" E	17.65	
80	195°24'33"		45.00	153.47	S 48°45'56" W	89.19	
81	72°04'59"		15.00	18.87	N 69°34'17" W	17.65	
82	42°22'51"		15.00	11.10	N 86°24'01" W	10.84	
83	280°37'22"		45.00	220.40	N 32°43'14" E	57.48	
84	67°58'55"		15.00	17.80	S 40°57'32" E	16.77	
85	98°13'31"		15.00	25.72	N 76°09'18" W	22.68	
86	102°31'13"		15.00	26.84	N 03°52'30" E	23.40	
87	44°05'17"		15.00	11.54	S 33°32'09" W	11.26	
88	281°34'19"		45.00	221.15	N 27°43'20" W	56.90	
89	61°59'42"		15.00	16.23	N 82°03'59" E	15.45	



MARTIN/MARTIN
Consulting Engineers
4251 Kipling St.
West Ridge, CO
303 431-6100

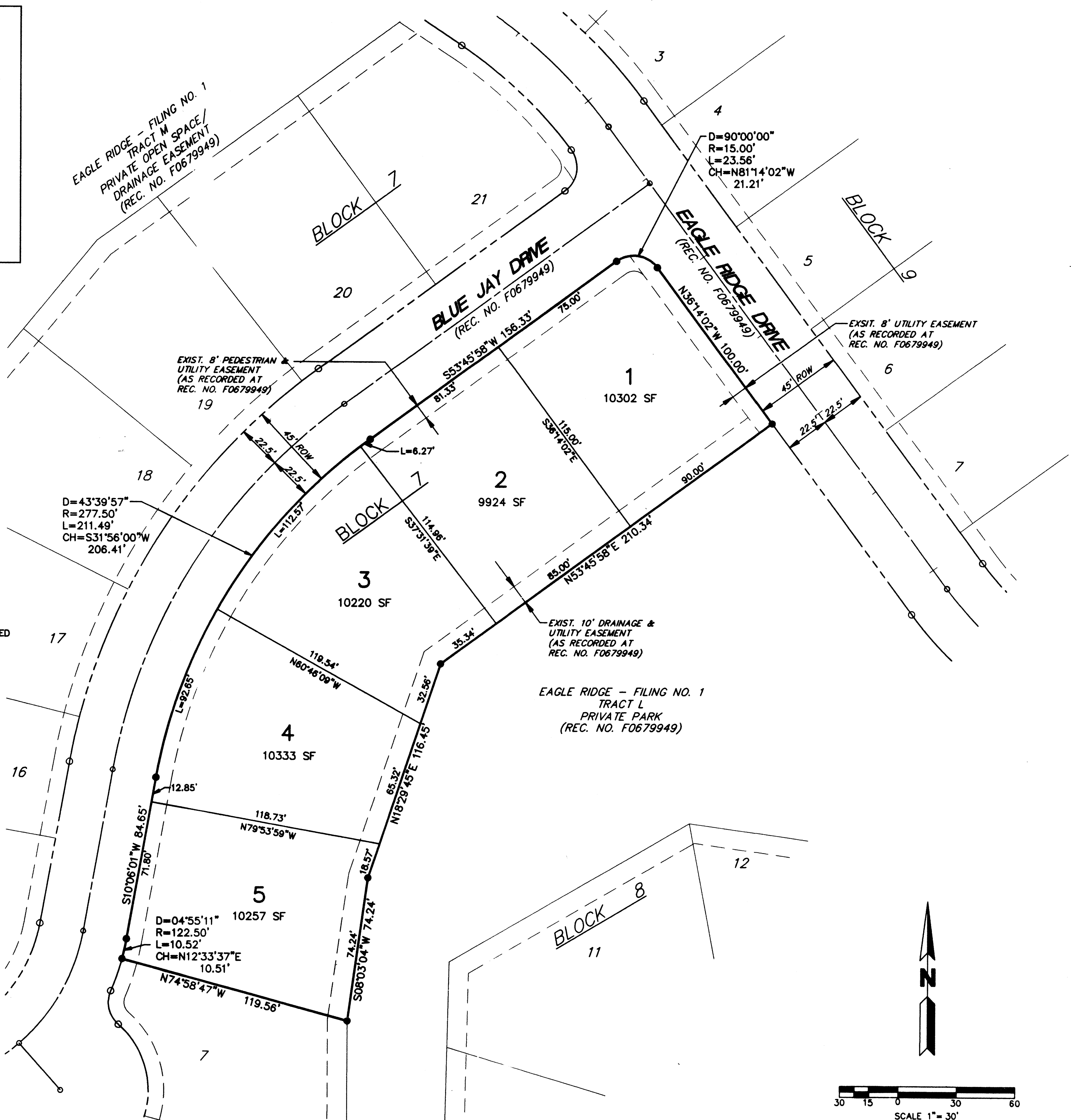
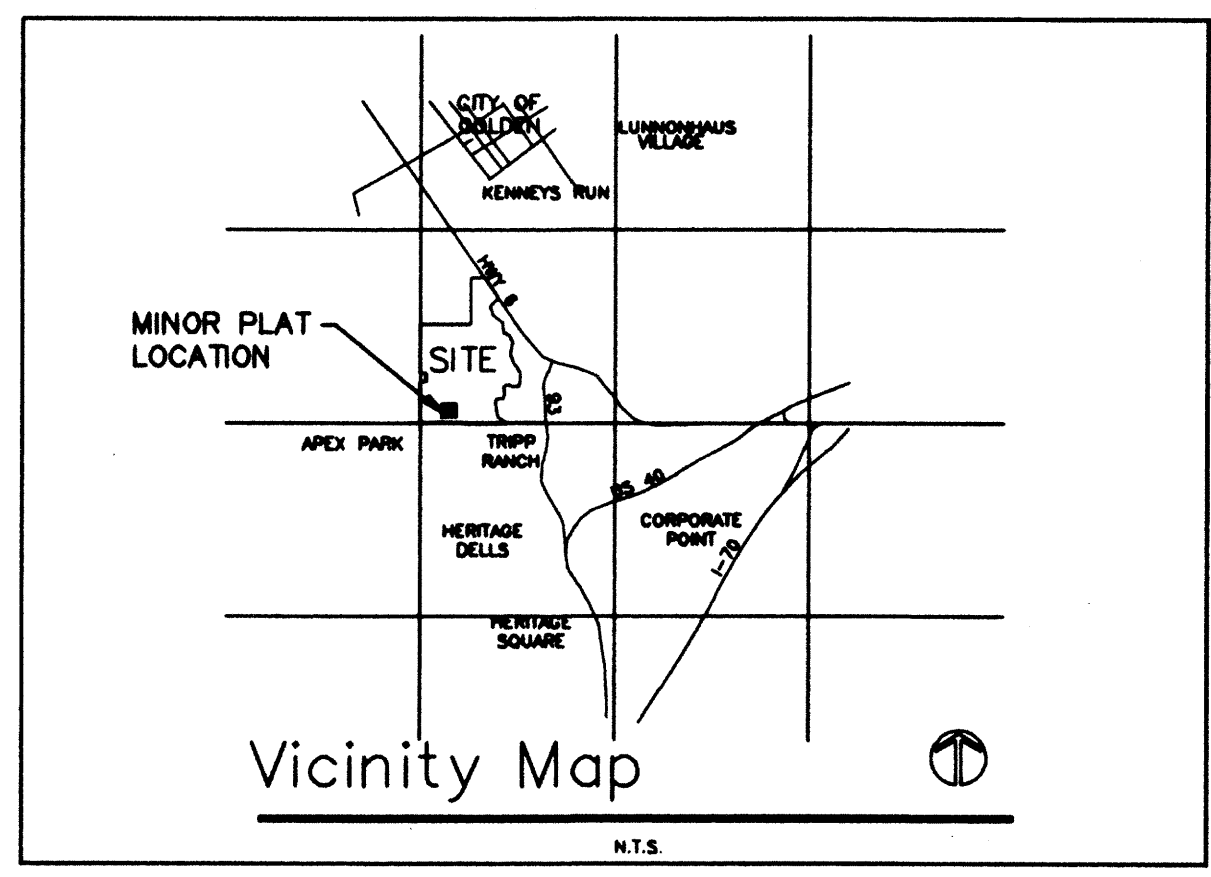
EAGLE RIDGE #1 PLAT/SUB

REV: 05/22/97
REV: 03/30/98
REV: 11/24/97
SEP. 19, 1997

MINOR PLAT OF EAGLE RIDGE - FILING NO. 1 REPLAT A

A REPLAT OF LOTS 1 THROUGH 6, BLOCK 7, EAGLE RIDGE - FILING NO. 1
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, T4S, R70W OF THE 6th P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO

AREA = 1.17 ACRES, (51,036 SQ. FT.) MORE OR LESS



GENERAL NOTES:

- BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 3 BEARING S88°39'53"E AS PER THE PLAT OF EAGLE RIDGE - FILING NO. 1 AS RECORDED AT RECEPTION NO. F0679949.
- RECORDED EASEMENTS AND RIGHTS-OF-WAY ARE SHOWN PER THE RECORDED PLAT OF EAGLE RIDGE - FILING NO. 1.
- INDICATES NO. 4 REBAR WITH PLASTIC CAP, LS NO. 23899 SET.
- SETBACK CRITERIA:

FRONT (A)	SETBACKS SIDE (B,C)	REAR (C)	MAX. BLDG. HEIGHT (D)
20'	5'	10'	35'

 - FRONT SETBACKS SHALL BE MEASURED FROM THE FACE OF THE STRUCTURE TO THE RIGHT-OF-WAY LINE. WHERE A PORTION OF THE STRUCTURE EXTENDS BEYOND THE GARAGE, THE LIVING STRUCTURE MAY ENCROACH 4' INTO THE FRONT 20' SETBACK, IN THE CASE OF A SIDE ENTRY GARAGE, THE SIDE OF THE GARAGE WHICH DOES NOT CONTAIN THE GARAGE ENTRY WILL BE ALLOWED TO ENCROACH 4' INTO THE FRONT 20' SETBACK.
 - LOTS SHALL HAVE A MINIMUM SIDE LOT SETBACK OF 5' BUT WILL HAVE A COMBINED (LEFT AND RIGHT) SETBACK OF 15'.
 - SIDE AND REAR SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE. SIDE SETBACK DISTANCE ON CORNER LOTS SHALL BE 15'.
 - BUILDING HEIGHTS SHALL BE MEASURED PER THE ZONING ORDINANCE AS IN EFFECT ON THE DATE OF CITY COUNCIL'S APPROVAL OF THIS PLAT.
- INDIVIDUAL SITE GRADING PLANS WILL BE REQUIRED FOR LOTS 1 THROUGH 5, BLOCK 7 AT THE TIME OF BUILDING PERMIT.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
- PROPERTY IS SUBJECT TO AN EASEMENT AND RIGHT-OF-WAY FOR A PRIVATE ROAD IN, OVER AND ACROSS SUBJECT PROPERTY AS GRANTED BY THE STATE INDUSTRIAL SCHOOL FOR BOYS TO HUGH BEERS IN INSTRUMENT RECORDED OCTOBER 24, 1931 IN BOOK 447, AT PAGE 393, IN WHICH THE SPECIFIC LOCATION OF THE EASEMENT IS NOT DEFINED.
- THE LOTS WITHIN THIS MINOR PLAT LIE WITHIN ZONE C, AREAS OF MINIMAL FLOODING, AS SHOWN ON FEMA FIRM COMMUNITY PANEL NUMBER 080087 0255B DATED AUG 5, 1986 AND COMMUNITY PANEL NUMBER 080090 0004A DATED MAY 15, 1985.

BOOK 148, PAGE 2, RECEPTION NUMBER F0874261
DATE 5-24-1999

OWNERSHIP CERTIFICATE

THE UNDERSIGNED, BEING THE OWNER OF THE FOLLOWING DESCRIBED PROPERTY:
LEGAL DESCRIPTION
LOTS 1 THROUGH 6, BLOCK 7, INCLUSIVE EAGLE RIDGE - FILING NO. 1 AS RECORDED AT RECEPTION NO. F0679949, A SUBDIVISION IN THE CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO, ACCORDING TO THE RECORDED PLAT THEREOF.

AREA = 1.17 ACRES, (51,036 SQUARE FEET MORE OR LESS)
HAS LAID OUT, SUBDIVIDED AND PLATTED THE SAME INTO LOTS 1 THROUGH 5, BLOCK 7 AS HEREIN SHOWN UNDER THE NAME AND STYLE OF "EAGLE RIDGE - FILING NO. 1 REPLAT A".
SIGNED THIS 19th DAY OF MAY, 1999

THE GENESEE COMPANY
BY: *Robert R. Short*
TITLE: PRESIDENT
STATE OF COLORADO }
JEFFERSON COUNTY OF Jefferson } SS

THE ABOVE AND FOREGOING MAP OF EAGLE RIDGE FILING NO. 1 REPLAT A WAS ACKNOWLEDGED BEFORE ME, THIS 21st DAY OF MAY, 1999, BY Robert R. Short AS PRESIDENT FOR THE GENESEE COMPANY

MY COMMISSION EXPIRES April 22, 2000
WITNESS MY HAND AND OFFICIAL SEAL
Bessie M. King

CITY PLANNING AND DEVELOPMENT CERTIFICATE

APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF GOLDEN, COLORADO, THIS 21 DAY OF MAY, 1999.
Robert R. Short
DIRECTOR OF PLANNING AND DEVELOPMENT

SURVEYOR'S CERTIFICATE

I, *August A. Papp*, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY OF EAGLE RIDGE - FILING NO. 1 REPLAT A, WAS MADE UNDER MY DIRECT RESPONSIBILITY, SUPERVISION AND CHECKING ON *5/21/99*, AND THAT THE ACCOMPANYING MAP ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION.

SIGNED THIS 5th DAY OF MAY, 1999
August A. Papp
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 23899

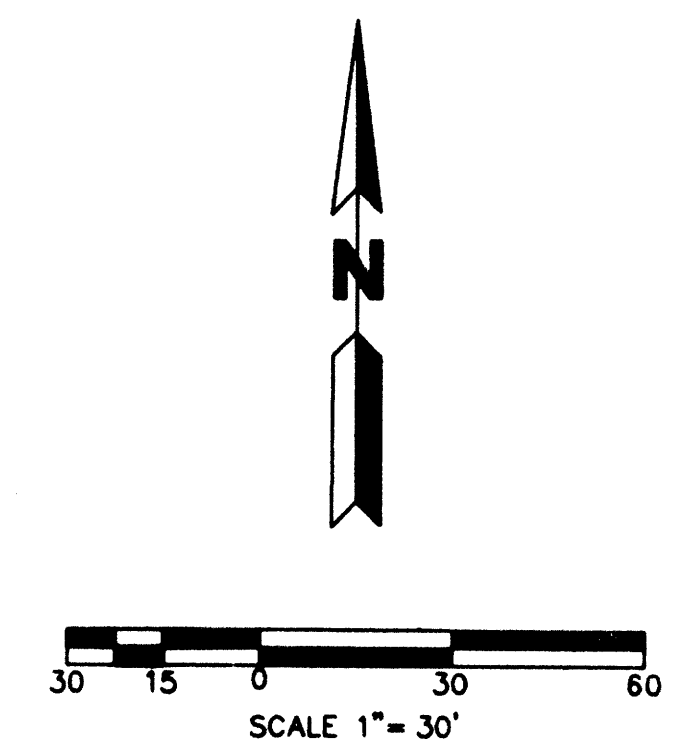
CLERK AND RECORDER'S CERTIFICATE

ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF JEFFERSON COUNTY, AT GOLDEN, COLORADO, ON THIS 24th DAY OF May, 1999, AT 8:18:34 O'CLOCK A.M.

Joyce Higgins
JEFFERSON COUNTY CLERK AND RECORDER
Nelaine Jacobs
BY: DEPUTY CLERK

EAGLE RIDGE FILING NO. 1 REPLAT A

CASE NO. *PC 99-17*



EAGLE RIDGE REPLAT A PLAT/SUB

MINOR PLAT OF EAGLE RIDGE - FILING NO. 1 REPLAT B

A REPLAT OF LOTS 17 THROUGH 22, BLOCK 7, EAGLE RIDGE - FILING NO. 1
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, T4S, R70W OF THE 6th P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO

AREA = 1.17 ACRES, (51,114 SQ. FT.) MORE OR LESS

BOOK 148, PAGE 3, RECEPTION NUMBER F0874262
DATE 5-24-1999

OWNERSHIP CERTIFICATE

THE UNDERSIGNED, BEING THE OWNER OF THE FOLLOWING DESCRIBED PROPERTY:
LEGAL DESCRIPTION
LOTS 1 THROUGH 6, BLOCK 7, INCLUSIVE, EAGLE RIDGE - FILING NO. 1 AS
RECORDED AT RECEPTION NO. F0679949, A SUBDIVISION IN THE CITY OF GOLDEN,
COUNTY OF JEFFERSON, STATE OF COLORADO, ACCORDING TO THE RECORDED
PLAT THEREOF.
AREA = 1.17 ACRES, (51,113 SQUARE FEET MORE OR LESS)

HAS LAID OUT, SUBDIVIDED AND PLATTED THE SAME INTO LOTS 1 THROUGH 5,
BLOCK 7 AS HEREIN SHOWN UNDER THE NAME AND STYLE OF "EAGLE RIDGE -
FILING NO. 1 REPLAT B".


SIGNED THIS 19th DAY OF May, 1999

THE GENESEE COMPANY
BY: *Robert R. Smart*
TITLE: PRESIDENT

STATE OF COLORADO }
COUNTY OF Jefferson } SS

THE ABOVE AND FOREGOING MAP OF EAGLE RIDGE FILING NO. 1 REPLAT B
WAS ACKNOWLEDGED BEFORE ME, THIS 19th DAY OF May, 1999, BY
Robert R. Smart AS PRESIDENT FOR THE
GENESEE COMPANY

MY COMMISSION EXPIRES April 22, 2000

WITNESS MY HAND AND OFFICIAL SEAL. *Carole M. ...*


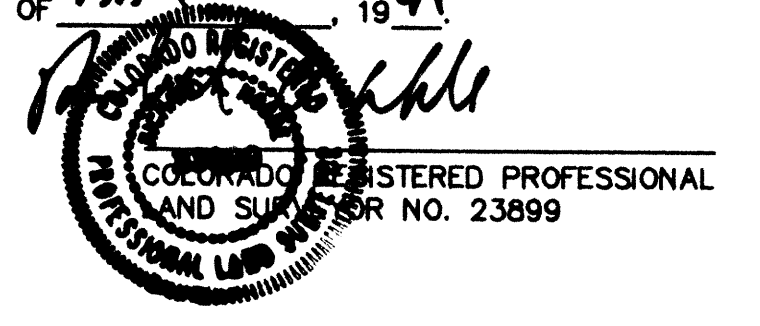
CITY PLANNING AND DEVELOPMENT CERTIFICATE

APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY
OF GOLDEN, COLORADO, THIS 21st DAY OF May, 1999.
Stis ...
DIRECTOR OF PLANNING AND DEVELOPMENT

SURVEYOR'S CERTIFICATE

I, *Richard A. ...* A REGISTERED LAND SURVEYOR IN THE STATE OF
COLORADO, DO HEREBY CERTIFY THAT THE SURVEY OF EAGLE RIDGE - FILING
NO. 1 REPLAT A, WAS MADE UNDER MY DIRECT RESPONSIBILITY, SUPERVISION
AND CHECKING ON *March 4, 1999*, AND THAT THE ACCOMPANYING MAP
ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION.

SIGNED THIS 5th DAY OF May, 1999

Richard A. ...

COLORADO REGISTERED PROFESSIONAL
AND SURVEYOR NO. 23899

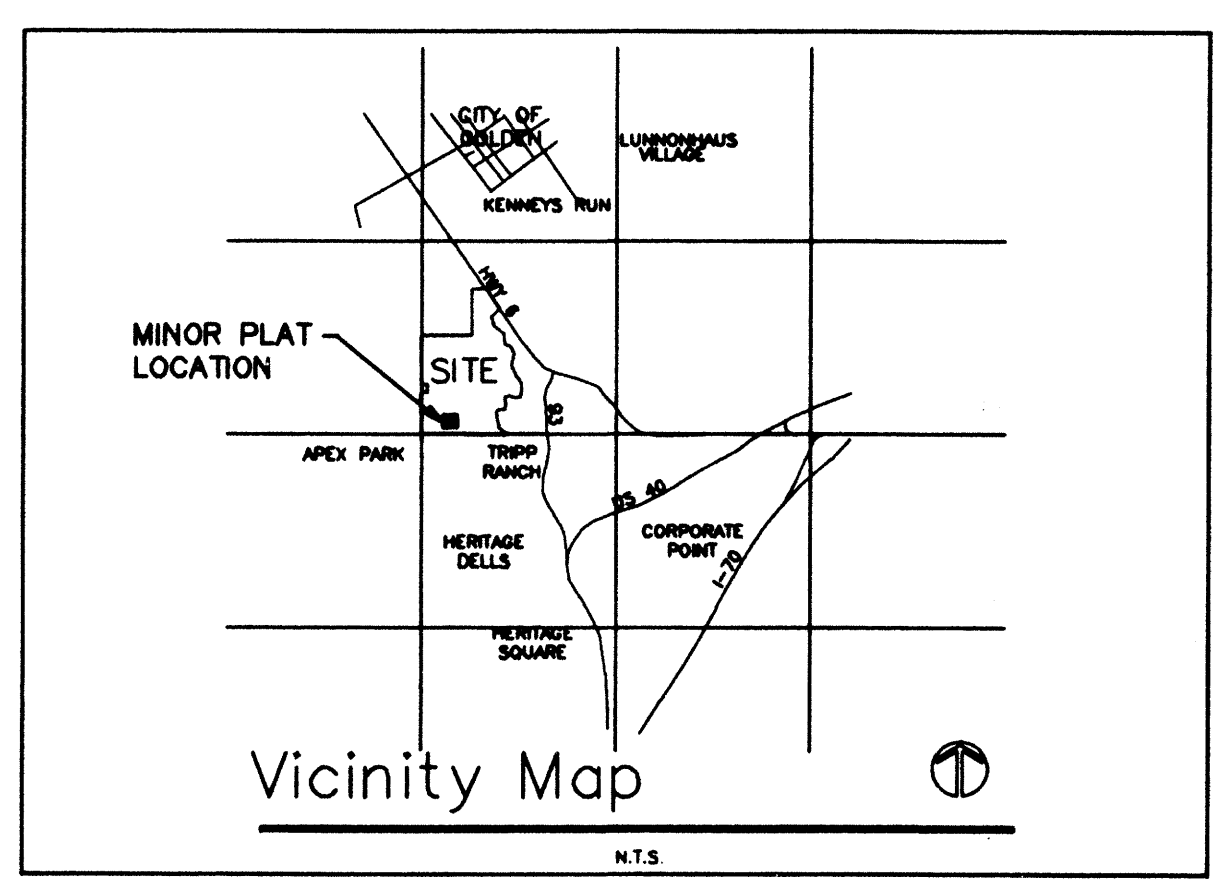
CLERK AND RECORDER'S CERTIFICATE

ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF
JEFFERSON COUNTY, AT GOLDEN, COLORADO, ON THIS 24th DAY OF
May, 1999 AT 8:18:35 O'CLOCK A.M.

Joyce ...
JEFFERSON COUNTY CLERK AND RECORDER
Melanie ...
BY: DEPUTY CLERK

EAGLE RIDGE FILING NO. 1 REPLAT A

CASE NO. PC 99-18

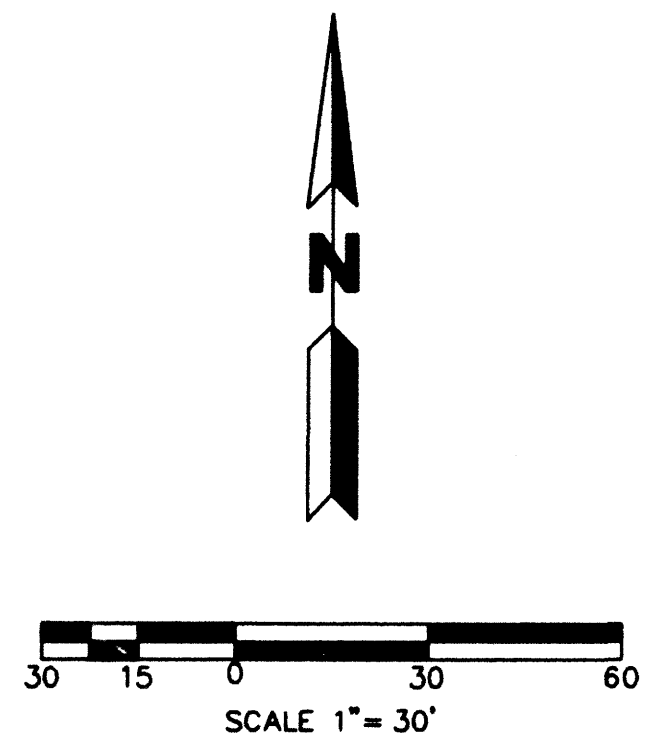
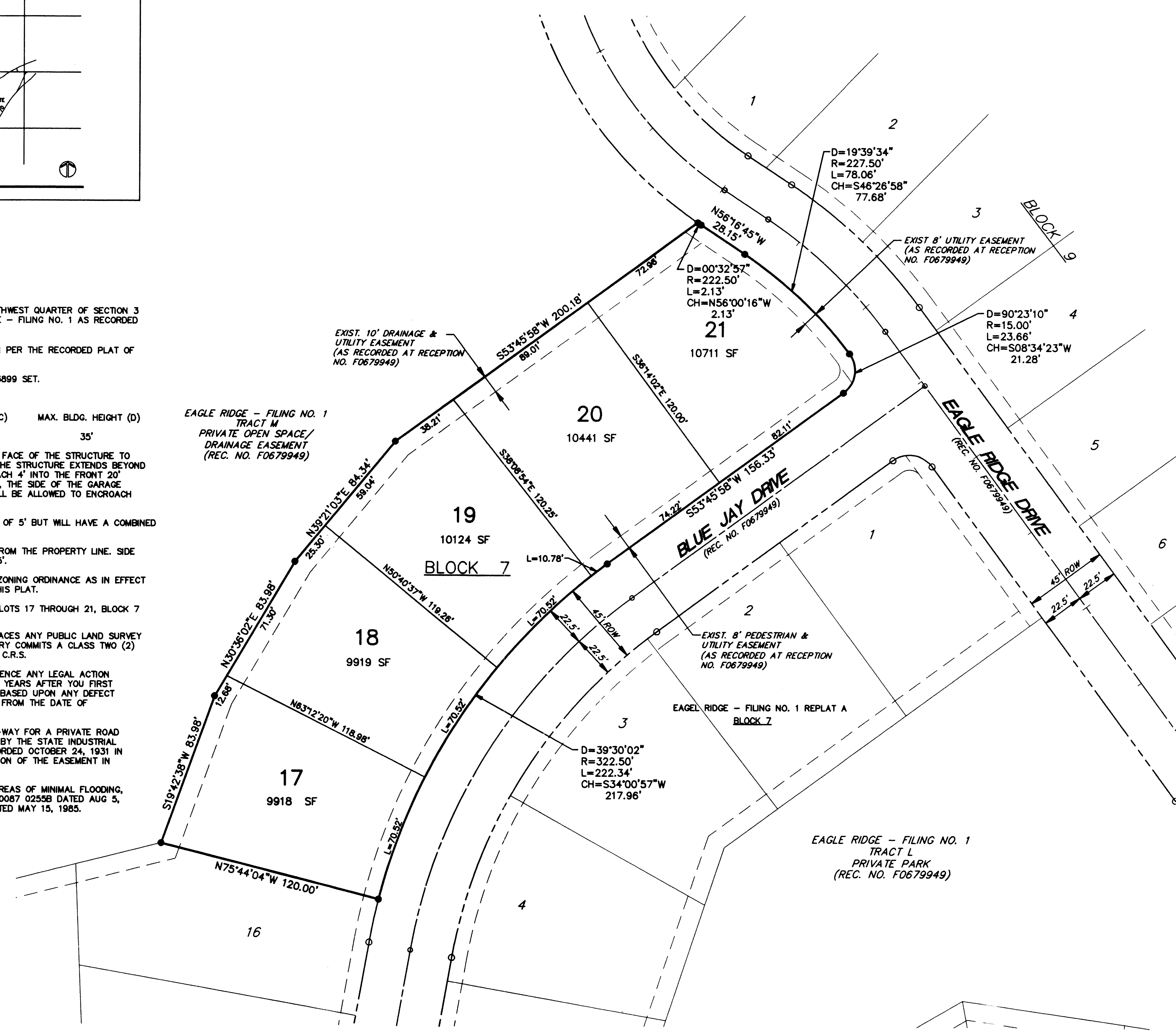


GENERAL NOTES:

- BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 3 BEARING S88°39'53"E AS PER THE PLAT OF EAGLE RIDGE - FILING NO. 1 AS RECORDED AT RECEPTION NO. F0679949.
- RECORDED EASEMENTS AND RIGHTS-OF-WAY ARE SHOWN PER THE RECORDED PLAT OF EAGLE RIDGE - FILING NO. 1.
- INDICATES NO. 4 REBAR WITH PLASTIC CAP, LS NO. 23899 SET.
- SETBACK CRITERIA:

FRONT (A)	SETBACKS SIDE (B,C)	REAR (C)	MAX. BLDG. HEIGHT (D)
20'	5'	10'	35'

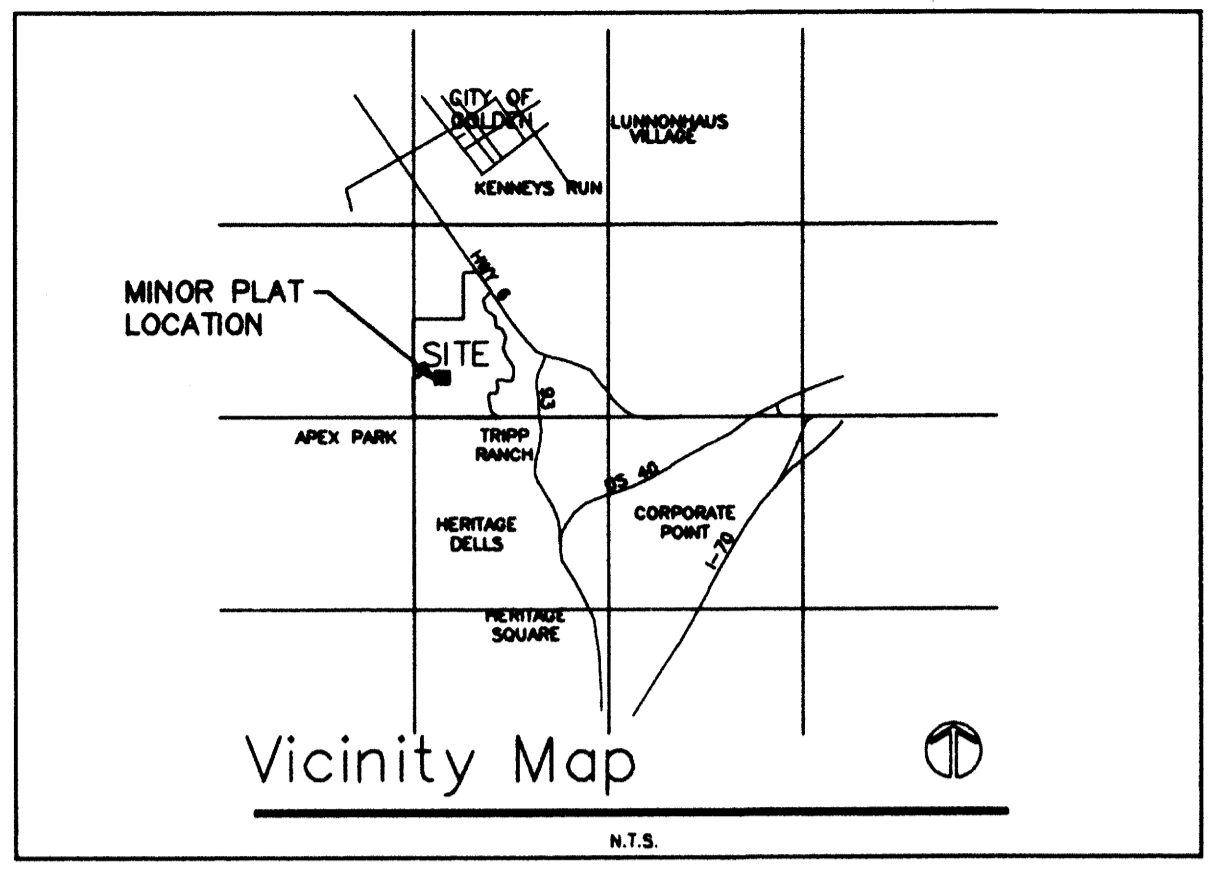
 - FRONT SETBACKS SHALL BE MEASURED FROM THE FACE OF THE STRUCTURE TO THE RIGHT-OF-WAY LINE. WHERE A PORTION OF THE STRUCTURE EXTENDS BEYOND THE GARAGE, THE LIVING STRUCTURE MAY ENCROACH 4' INTO THE FRONT 20' SETBACK, IN THE CASE OF A SIDE ENTRY GARAGE, THE SIDE OF THE GARAGE WHICH DOES NOT CONTAIN THE GARAGE ENTRY WILL BE ALLOWED TO ENCROACH 4' INTO THE FRONT 20' SETBACK.
 - LOTS SHALL HAVE A MINIMUM SIDE LOT SETBACK OF 5' BUT WILL HAVE A COMBINED (LEFT AND RIGHT) SETBACK OF 15'.
 - SIDE AND REAR SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE. SIDE SETBACK DISTANCE ON CORNER LOTS SHALL BE 15'.
 - BUILDING HEIGHTS SHALL BE MEASURED PER THE ZONING ORDINANCE AS IN EFFECT ON THE DATE OF CITY COUNCIL'S APPROVAL OF THIS PLAT.
- INDIVIDUAL SITE GRADING PLANS WILL BE REQUIRED FOR LOTS 17 THROUGH 21, BLOCK 7 AT THE TIME OF BUILDING PERMIT.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
- PROPERTY IS SUBJECT TO AN EASEMENT AND RIGHT-OF-WAY FOR A PRIVATE ROAD IN, OVER AND ACROSS SUBJECT PROPERTY AS GRANTED BY THE STATE INDUSTRIAL SCHOOL FOR BOYS TO HUGH BEERS IN INSTRUMENT RECORDED OCTOBER 24, 1931 IN BOOK 447, AT PAGE 393, IN WHICH THE SPECIFIC LOCATION OF THE EASEMENT IS NOT DEFINED.
- THE LOTS WITHIN THIS MINOR PLAT LIE WITHIN ZONE C, AREAS OF MINIMAL FLOODING, AS SHOWN ON FEMA FIRM COMMUNITY PANEL NUMBER 080087 0255B DATED AUG 5, 1986 AND COMMUNITY PANEL NUMBER 080090 0004A DATED MAY 15, 1985.



EAGLE RIDGE REPLAT B PLAT/SUBDIVISION

MINOR PLAT OF EAGLE RIDGE - FILING NO. 1 REPLAT C

A REPLAT OF TRACT N AND LOT 20, BLOCK 3, EAGLE RIDGE - FILING NO. 1
LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 3, T4S, R70W OF THE 6th P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
AREA = 9.21 ACRES (401,369 SQ. FT.) MORE OR LESS



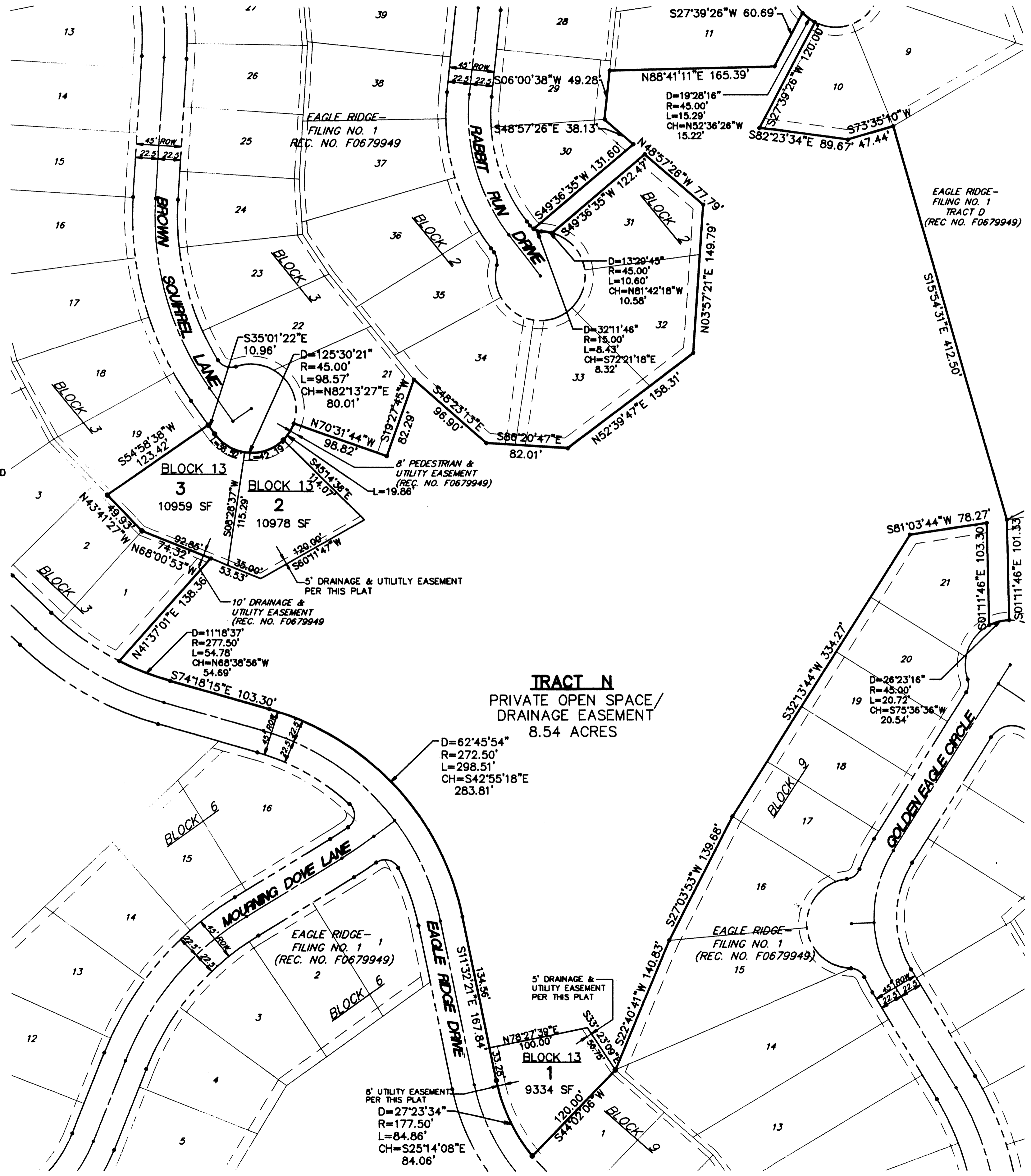
BOOK 148, PAGE 4, RECEPTION NUMBER F0874263
DATE 5-24-1999

OWNERSHIP CERTIFICATE

THE UNDERSIGNED, BEING THE OWNER OF THE FOLLOWING DESCRIBED PROPERTY:
LEGAL DESCRIPTION
TRACT N AND LOT 20, BLOCK 3, INCLUSIVE, EAGLE RIDGE - FILING NO. 1 AS RECORDED AT RECEPTION NO. F0879949, A SUBDIVISION IN THE CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO, ACCORDING TO THE RECORDED PLAT THEREOF.
AREA = 9.26 ACRES, (403,396 SQUARE FEET MORE OR LESS)
HAS LAID OUT, SUBDIVIDED AND PLATTED THE SAME INTO LOTS 1 AND 2, BLOCK 13 AND TRACT N AS HEREIN SHOWN UNDER THE NAME AND STYLE OF EAGLE RIDGE - FILING NO. 1 REPLAT C.
SIGNED THIS 19th DAY OF MAY, 1999
THE GENESEE COMPANY
BY: *Paul P. Kelly*
TITLE: PRESIDENT
STATE OF COLORADO }
COUNTY OF Jefferson } SS
THE ABOVE AND FOREGOING MAP OF EAGLE RIDGE FILING NO. 1 REPLAT C WAS ACKNOWLEDGED BEFORE ME, THIS 19th DAY OF MAY, 1999, BY Robert E. Short AS PRESIDENT FOR THE GENESEE COMPANY
MY COMMISSION EXPIRES April 22, 2000
WITNESS MY HAND AND OFFICIAL SEAL.
Bascom M. King

GENERAL NOTES:

- BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 3 BEARING S88°39'53"E AS PER THE PLAT OF EAGLE RIDGE - FILING NO. 1 AS RECORDED AT RECEPTION NO. F0679949.
- RECORDED EASEMENTS AND RIGHTS-OF-WAY ARE SHOWN PER THE RECORDED PLAT OF EAGLE RIDGE - FILING NO. 1.
- INDICATES NO. 4 REBAR WITH PLASTIC CAP, LS NO. 23899 SET.
- SETBACK CRITERIA:
FRONT (A) SETBACKS SIDE (B,C) REAR (C) MAX. BLDG. HEIGHT (D)
20' 5' 10' 35'
A. FRONT SETBACKS SHALL BE MEASURED FROM THE FACE OF THE STRUCTURE TO THE RIGHT-OF-WAY LINE. WHERE A PORTION OF THE STRUCTURE EXTENDS BEYOND THE GARAGE, THE LIVING STRUCTURE MAY ENCROACH 4' INTO THE FRONT 20' SETBACK, IN THE CASE OF A SIDE ENTRY GARAGE, THE SIDE OF THE GARAGE WHICH DOES NOT CONTAIN THE GARAGE ENTRY WILL BE ALLOWED TO ENCROACH 4' INTO THE FRONT 20' SETBACK.
B. LOTS SHALL HAVE A MINIMUM SIDE LOT SETBACK OF 5' BUT WILL HAVE A COMBINED (LEFT AND RIGHT) SETBACK OF 15'.
C. SIDE AND REAR SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE. SIDE SETBACK DISTANCE ON CORNER LOTS SHALL BE 15'.
D. BUILDING HEIGHTS SHALL BE MEASURED PER THE ZONING ORDINANCE AS IN EFFECT ON THE DATE OF CITY COUNCIL'S APPROVAL OF THIS PLAT.
- INDIVIDUAL SITE GRADING PLANS WILL BE REQUIRED FOR LOTS 1, BLOCK 13, AT THE TIME OF BUILDING PERMIT.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
- PROPERTY IS SUBJECT TO AN EASEMENT AND RIGHT-OF-WAY FOR A PRIVATE ROAD IN, OVER AND ACROSS SUBJECT PROPERTY AS GRANTED BY THE STATE INDUSTRIAL SCHOOL FOR BOYS TO HUGH BEERS IN INSTRUMENT RECORDED OCTOBER 24, 1931 IN BOOK 447, AT PAGE 393, IN WHICH THE SPECIFIC LOCATION OF THE EASEMENT IS NOT DEFINED.
- TRACT N IS FOR PRIVATE OPEN SPACE PURPOSES AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE LOTS WITHIN THIS MINOR PLAT LIE WITHIN ZONE C, AREAS OF MINIMAL FLOODING, AS SHOWN ON FEMA FIRM COMMUNITY PANEL NUMBER 080087 02558 DATED AUG 5, 1986 AND COMMUNITY PANEL NUMBER 080090 0004A DATED MAY 15, 1985.



CITY PLANNING AND DEVELOPMENT CERTIFICATE

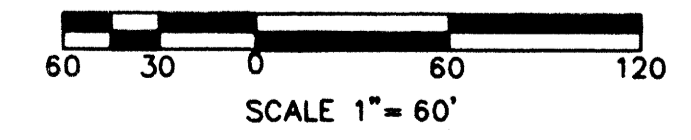
APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF GOLDEN, COLORADO, THIS 21 DAY OF MAY, 1999.
Steve G. Gresh
DIRECTOR OF PLANNING AND DEVELOPMENT

SURVEYOR'S CERTIFICATE

I, Arthur A. Mace, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY OF EAGLE RIDGE - FILING NO. 1 REPLAT A, WAS MADE UNDER MY DIRECT RESPONSIBILITY, SUPERVISION AND CHECKING ON MAY 4, 1999, AND THAT THE ACCOMPANYING MAP ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION.
SIGNED THIS 5th DAY OF MAY, 1999
Arthur A. Mace
REGISTERED PROFESSIONAL SURVEYOR NO. 23899

CLERK AND RECORDER'S CERTIFICATE

ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF JEFFERSON COUNTY, AT GOLDEN, COLORADO, ON THIS 24th DAY OF May, 1999, AT 8:18:35 O'CLOCK P.M.
Faye Griffin
JEFFERSON COUNTY CLERK AND RECORDER
Melanie J. Jansen
BY: DEPUTY CLERK
EAGLE RIDGE FILING NO. 1 REPLAT C
CASE NO. PC 99-19



PREPARED BY: **MARTIN/MARTIN**
Consulting Engineers
4251 Kipling St.
Wheat Ridge, CO
(303) 431-6100
email: city@martinmartin.com
REV: 04-16-99
DATE: 3-12-99